

# Schedules



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## Schedule 1—Cultural Heritage Features

This table identifies the Cultural Heritage Features for the Cultural Heritage Features Overlay.

All features are shown on Map CHF 1.

Column 1 Map Reference	Column 3 Real Property Description or Location	Column 2 Cultural Heritage Feature	Column 4 Significance
NI 1*	Splitters Creek, Sharon	Railway Bridge	Designed in 1878, the Bridge is significant as a rare and unusual example of early railway bridge construction in Queensland.
N1.2*	Windermere Road, Bundaberg	Dry-rubble Boundary Wall	c.1880s. Significant as a good example of dry-rubble wall construction employed in the Bundaberg district in the late 19th century and as a remaining testament to the South Sea Islanders contribution to the development of the sugar industry.

\* Indicates places listed on the Queensland Heritage Register



Column 1 Map Reference	Column 3 Real Property Description or Location	Column 2 Cultural Heritage Feature	Column 4 Significance
NI 3*	Hummock Road, The Hummock, Qunaba (Lot 6 on RP 216352)	Sir Anthony's Rest	Earth and rubble mounded to form a platform. Associated with important historic event during development of the region. "Sir Anthony's Rest" is significant for its association with European and non-European histories in Queensland.
NI 4*	Grange Road, Mon Repos	South Sea Islander "Kanaka" Wall	Circa 1890, the wall is significant for its association with both the non-European and European histories of the shire. The wall is significant in its association with farming methods and Kanaka involvement in the early Bundaberg sugar industry
NI 5	Barolin State School Grounds, School Lane, Windemere ( L 218 on SP 170700, R1116, Parish of Barolin)	Camphor Laurel trees	Large mature trees on site that are both visually beautiful and offer sunshading to the children of the school. The trees are significant because of their association with an early school in the shire and Arbour Day planting.
NI 6	Pasturage Reserve, Mon Repos Road, Mon Repos (L.12 on SP 193724, R150, Parish of Barolin)	Melaleucas	The reserve is significant for its association with permanent settlement in the area. It played an important role in the history of the Shire's cattle industry and is significant for its association with the Post and Telegraph, Railway histories of the region.

Column 1 Map Reference	Column 3 Real Property Description or Location	Column 2 Cultural Heritage Feature	Column 4 Significance
NI 7	Esplanade, Bargara	Pine trees	Planted in 1954 in memory of Charles and Mary Zunker an early local family prominent in the Shire. Also associated with the history of the sugar cane industry and the hazards/dangers of its workings.
NI 8	L9 on CK 3658, Parish of Barolin, Zunker Street, Burnett Heads	Burnett Heads Lighthouse	Built in 1873 the lighthouse is significant as one of the first built in the colony of Queensland. Also associated with early development of Burnett Heads.
NI 9	L703 on BH2773, Parish of Barolin, Paul Mittelheuser Street, Burnett Heads	St. John the Divine Church	Circa 1930's – 1940's the only example of this type in the Shire. The structure is an excellent example of an intact "Old English" Revival style church remaining in Queensland.
NI 10	Lot 3 on SP134453, Parish of Barolin, Barolin Esplanade, Coral Cove	Barolin Homestead	Circa 1913 – 1914 built by the Innes family, significant for its association with early pioneering families in Burnett Shire. Particularly noted for its roof design.
NI 11	Lot 2 on RP31453, Parish of South Kolan, Gin Gin Road, South Kolan	Administration Building, Bingera Mill	c.1930—40's. Elegant building designed to accommodate the growing administration requirements of the Bingera Mill. The building is significant as a purpose built structure of integrity in continuous use that has played an important role in the development of the Bingera Mill and sugar industry.
NI 12	Lot 2 on RP82146, Parish of Barolin, Mon Repos Road, Mon Repos	Mon Repos Cable Station Site	c.1893. The site contains remnants of the former cable house and radio tower and is significant for its association with the



Column 1 Map Reference	Column 3 Real Property Description or Location	Column 2 Cultural Heritage Feature	Column 4 Significance
			development of the region and particularly with the role the site played in development of telecommunications internationally.
NI 13	Lot 1 on RP7283, Parish of Barolin, Springhill Road, Burnett Heads	Rural/Industrial Building	c.1910-20 Small exposed timber framed building. The structure is well preserved and contributes to the Springhill Plantation complex but its function requires further investigation.
NI 14	Lot 63 on RP7232 & Lot 1 on RP7234, Parish of Barolin, 47 The Esplanade, Bargara	"Lanarth" Residence	c.1920's. Gracious seaside residence—masonry structure with unusual textured concrete render finish & complex roof forms. The residence is significant as a beautifully preserved building and an excellent example of a large suburban brick house that contributes to the Esplanade streetscape.
NI 15	Lot 69 on SP 187618, Parish of Kinagin, North Bucca Road, Bucca	Bucca Hotel	c.1897 rebuilt. Low set timber framed hotel with wide, steep pitched hipped roof. The hotel is significant as the only remaining small timber rural hotel in Burnett Shire.
NI 16	L218 on SP 170700 (R.1116), Parish of Barolin, Cnr Elliott Heads Road & School Lane, Windemere	Barolin State School & School Shelter	c.1886. Low set timber frame school building clad in chamfer boards. c.1895 Timber framed hipped roof shelter. Both structures are significant as well-preserved examples of rural timber buildings that remain on the original sites as part of the school complex.

## Schedule 2—Land Designated for Community Infrastructure

This table identifies land designated by the local government for community infrastructure pursuant to Section 2.1.6(2) of the Integrated Planning Act.

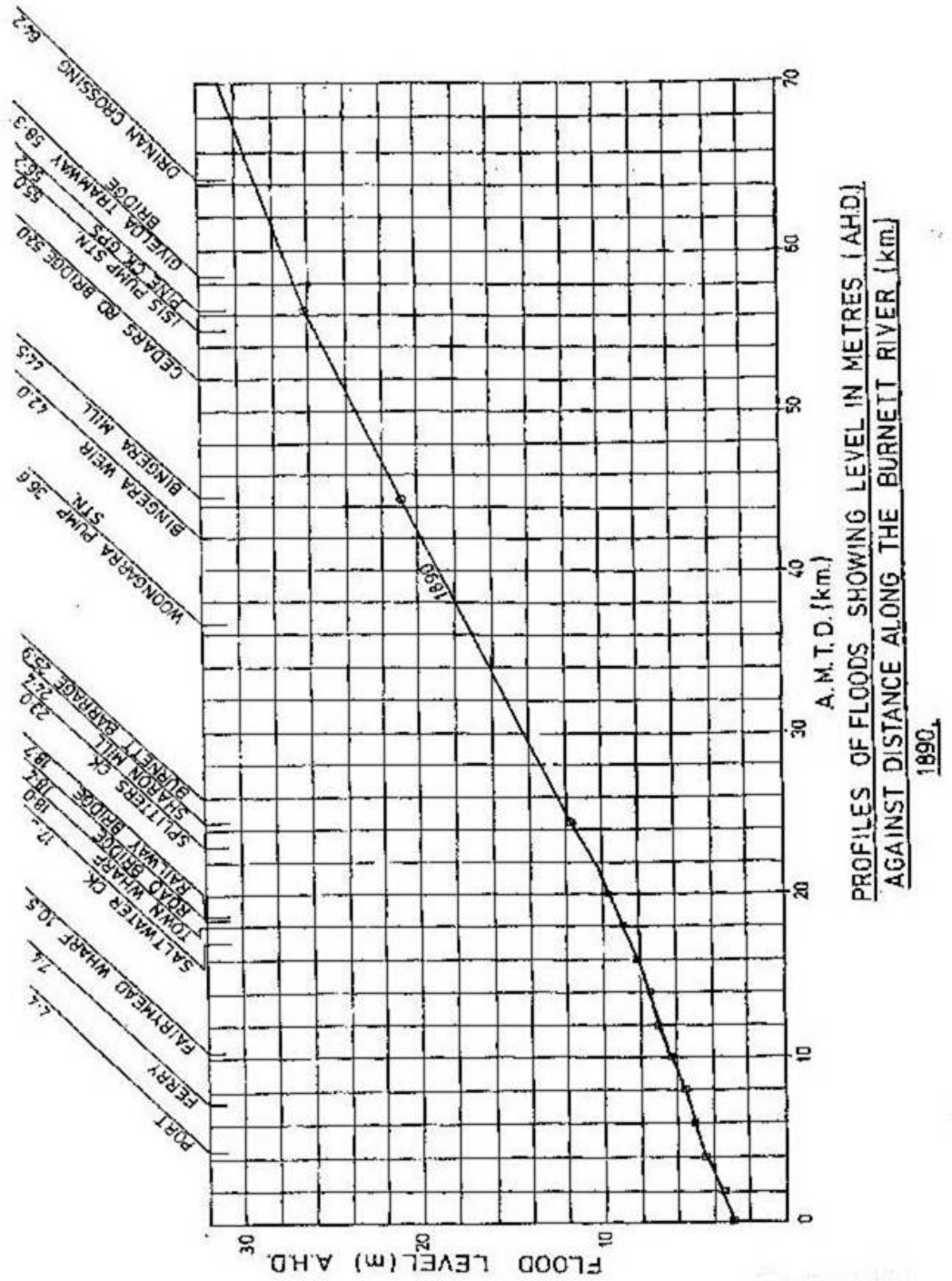
Column 1 Real Property Description	Column 2 Street Address	Column 3 Type of Community Infrastructure	Column 4 Day of the Designation	Column 5 Matters included as part of the designation
<b>Ministerial Designations</b>				
Part of Lot 2 on SP113129 and Part of Lot 3 on SP113129	Corner of Pandanus Street, Murdochs Road and Murdochs Linking Road, Moore Park Beach	Community infrastructure for Pre School to Year 7 State School in Moore Park. Development on the land for the school includes community, cultural, sporting facilities and associated infrastructure and associated road, vehicle lay-bys and parking facilities servicing the proposed school.	14 July 2003	The community infrastructure shall be provided generally in accordance with the drawing "Moore Park State School, New School – Master Plan – Drawing Number 34104/CD" dated July 2003
Part of Lot 2 on CK3080	Corner of Cattermull Avenue and Bundaberg Bargara Road, Bargara	Ambulance Station together with support facilities and on site parking	16 May 2003	Nil





Column 1 Real Property Description	Column 2 Street Address	Column 3 Type of Community Infrastructure	Column 4 Day of the Designation	Column 5 Matters included as part of the designation
Part of Lot 85 on RP814890	Herbert Hall Road, Coonarr	Community Infrastructure 1(g) – Emergency Services Facility (Rural fire station together with support facilities, administrative office, on site parking, educational/training accommodation.)	29 June 2001	Nil
<b>Local Government Designations</b>				
Lot 2 RP98558	Norton Road Moore, Park Beach	Waste management facilities	When this Planning Scheme first commenced	Nil
Lot 160 CK2241	Pollocks Road, Avondale	Waste management facilities	When this Planning Scheme first commenced	Nil
Lot 172 C371060	Birthamba Road, Birthamba	Waste management facilities	When this Planning Scheme first commenced	Nil
Lot 104 CK2686 Lot 88 CK2879 Lot 89 CK3703	Rosedale Road, <i>Meadowvale</i>	Waste management facilities	When this Planning Scheme first commenced	Nil
Lot 243 CK2838	Potters Road, Bargara	Waste management facilities	When this Planning Scheme first commenced	Nil
Lot 1 RP49524	Elliott Heads Road, Elliott Heads	Waste management facilities	When this Planning Scheme first commenced	Nil
Lot 68 CK1818	Moore Park Road, Welcome Creek	Waste management facilities	When this Planning Scheme first commenced	Nil
Lot 3 RP185065	Three Chain Road and Mahoney Dexter Road, Calavos	Waste management facilities	When this Planning Scheme first commenced	Nil
Lot 71 RP900483	Hairs Road, Winfield	Waste management facilities	When this Planning Scheme first commenced	Nil

### Schedule 3—Flood Levels



## Burnett River Flood Profile Levels

AMTD kms	1890 Water Resources Profile mAHD	1890 Burnett Shire Council Assumed Profile	AMTD	1890 Water Resources Profile mAHD	AMTD	1890 Water Resources Profile
0		3.45	26.00	12.71	55.00	25.65
1		3.60	27.00	13.35	56.00	26.08
2		3.75	28.00	13.64	57.00	26.39
3		4.00	29.00	13.67	58.00	26.71
4		4.25	30.00	13.97	59.00	27.03
5		4.55	31.00	14.80	60.00	27.35
6		4.83	32.00	15.36	61.00	27.63
7		5.15	33.00	15.72	62.00	27.91
8		5.50	34.00	16.08	63.00	28.15
9		5.90	35.00	16.44	64.00	28.35
10	6.30	6.30	36.00	16.81	65.00	28.55
11	6.65		37.00	17.17	66.00	28.84
12	6.99		38.00	17.60	67.00	29.22
13	7.34		39.00	18.10	68.00	26.69
14	7.69		40.00	18.60	69.00	30.17
15	8.03		41.00	19.10	70.00	30.64
16	8.38		42.00	19.60	71.00	31.12
17	8.71		43.00	20.10	72.00	31.58
18	9.04		44.00	20.60	73.00	32.01
19	9.70		45.00	21.08	74.00	32.45
20	9.91		46.00	21.55	75.00	32.88
21	10.26		47.00	22.01	76.00	33.24
22	10.62		48.00	22.47	77.00	33.59
23	11.03		49.00	22.94	78.00	33.95
24	11.50		50.00	23.40	79.00	34.30
25	12.07		51.00	23.85	80.00	34.66
			52.00	24.30	81.00	35.01
			53.00	24.75	82.00	35.37
			54.00	25.20	83.00	35.72

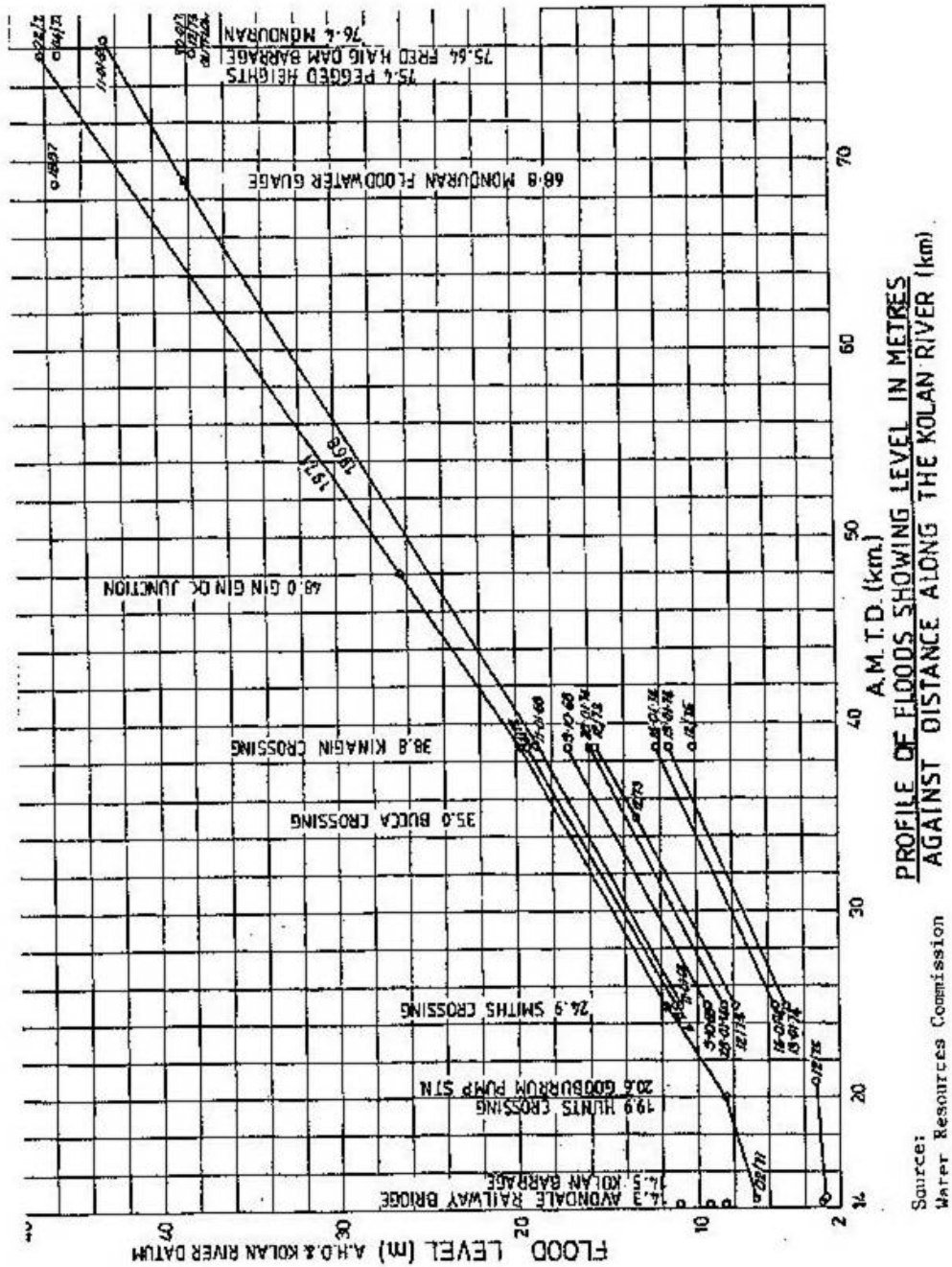
## Notes

Water Resources Flood Profile presented in "Burnett River Floods – AMTD 0 to 98.5km" by Ray Maynard – 1991

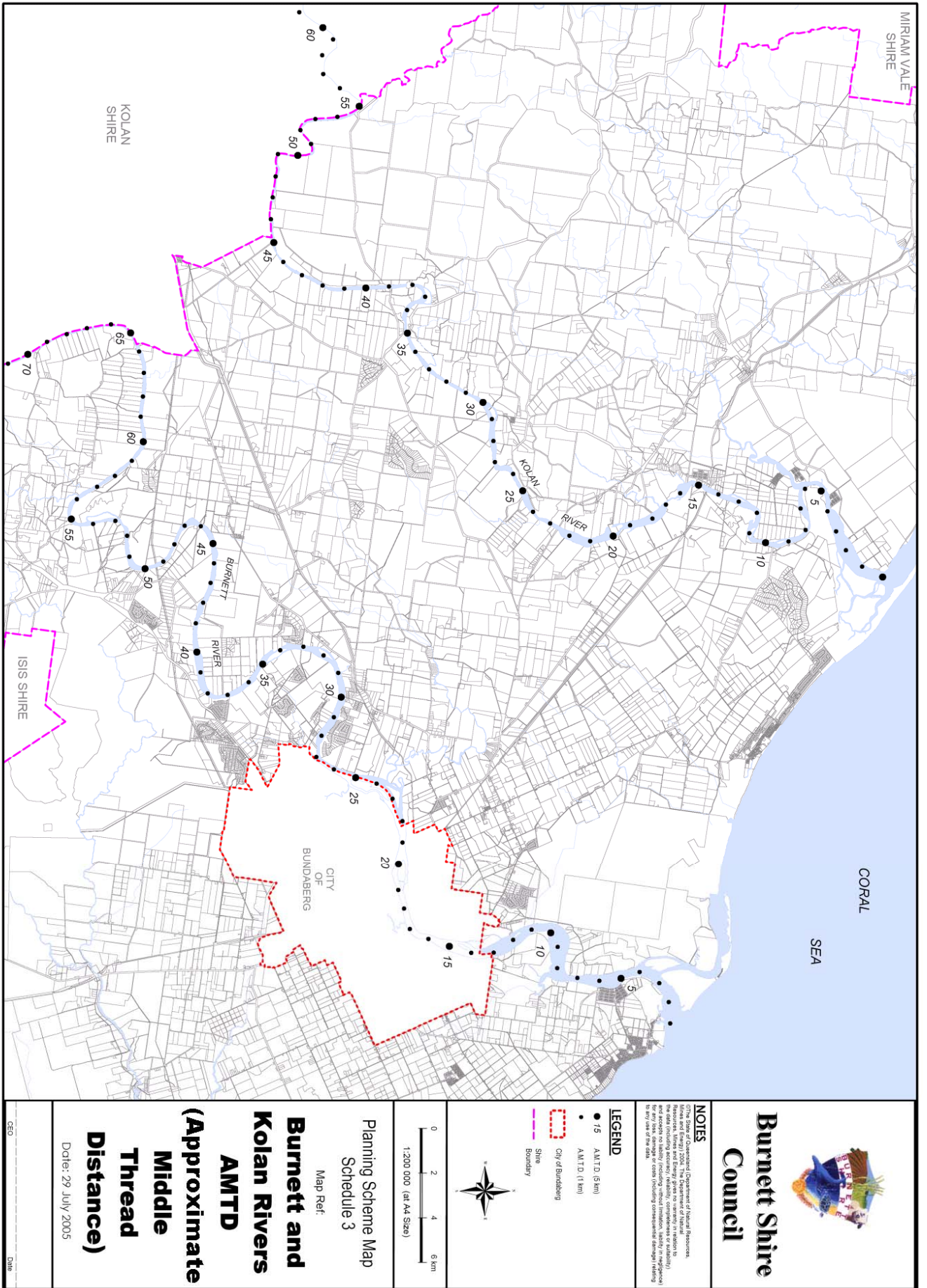
Burnett Shire Council assumed Profile based on seal level at Burnett Heads, 1890 anecdotal levels, 1942 "best fit" profile in "North Bundaberg Flood Levels" by Kinhill Cameron Mcnamara - 1992

## Flood Level Accuracy for the Kolan River

The information shown on this graph is the highest recorded flood data known and is based on limited historical records collated by Officers of the Queensland Water Resources Commission. The purpose of the information is to provide an indication of known flood



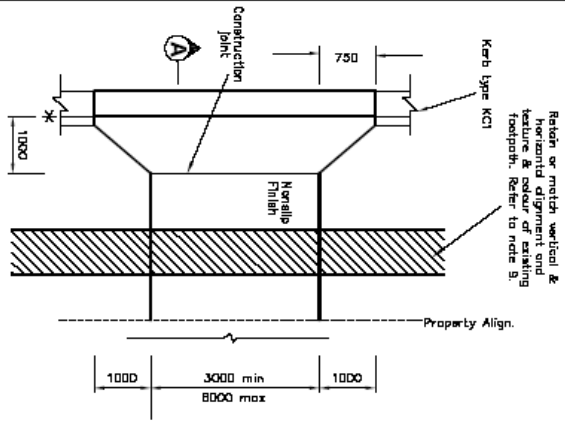




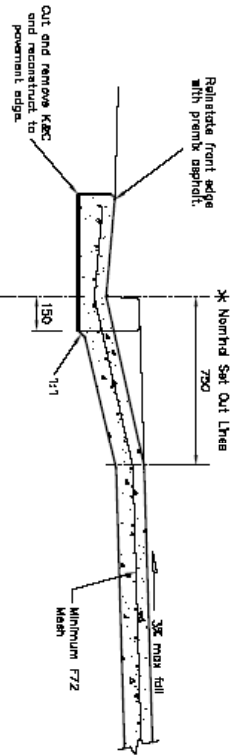


## Schedule 4—Driveways

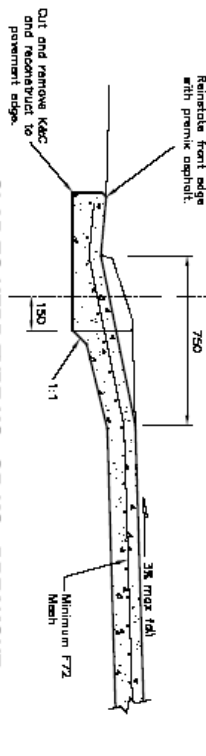




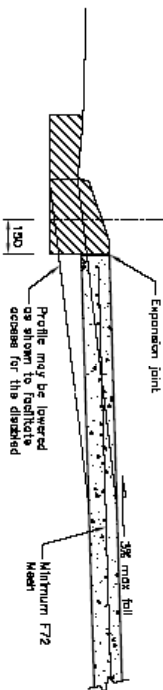
**SLAB ABUTTING  
KERB TYPE KC1**



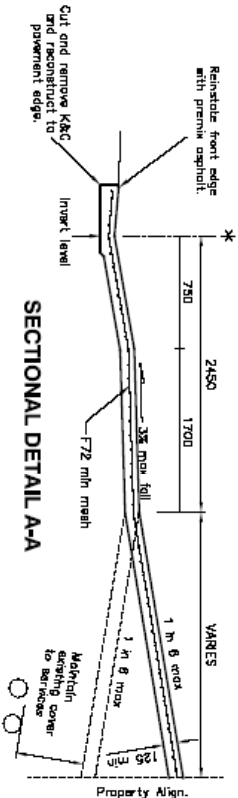
**SLAB TO KERB TYPE KC1-BREAKOUT**



**SLAB TO KERB TYPE KC2 OR KC3-BREAKOUT**



**SLAB TO BACK OF KERB TYPE KC2 OR KC3**



**SECTIONAL DETAIL A-A**

**LEGEND**

\* Nominal kerb line.

**NOTES**

1. Crossings are not designed for commercial vehicles.
2. Footpath section to vary where necessary to match concrete footpaths and verge profiles. Footpath earthworks adjoining concrete must be well compacted.
3. Concrete surface tolerance to be +3mm over 3 metre sections.
4. Concrete N25 in accordance with AS 1379 and AS 3609.
5. Reinforcement mesh to AS 1304, 50 top and end edge cover. Lap mesh 250.
6. Expansion joints to be 10 thick, full depth closed cell cross linked polyethylene foam (85 – 150 kg/m<sup>3</sup>).
7. All dimensions in millimetres.
8. Driveways to have a construction joint at property boundary.
9. Council will not guarantee reinstatement on non-standard concrete finishes if council need to access infrastructure under driveway (eg. pipes, etc) or provide concrete footpath across driveway.
10. Should concrete footpaths exist or be required in the area, then the concrete footpath will be continuous through the proposed driveway access. Construction to conform to other details shown on this plan & AS1428.1-2001.
11. For driveway work in sandy areas, Council may permit the existing kerb & channel be saw cut at the invert or nominal kerb line and removal of the kerb.
12. Refer BSC R114 for Standard plan details.

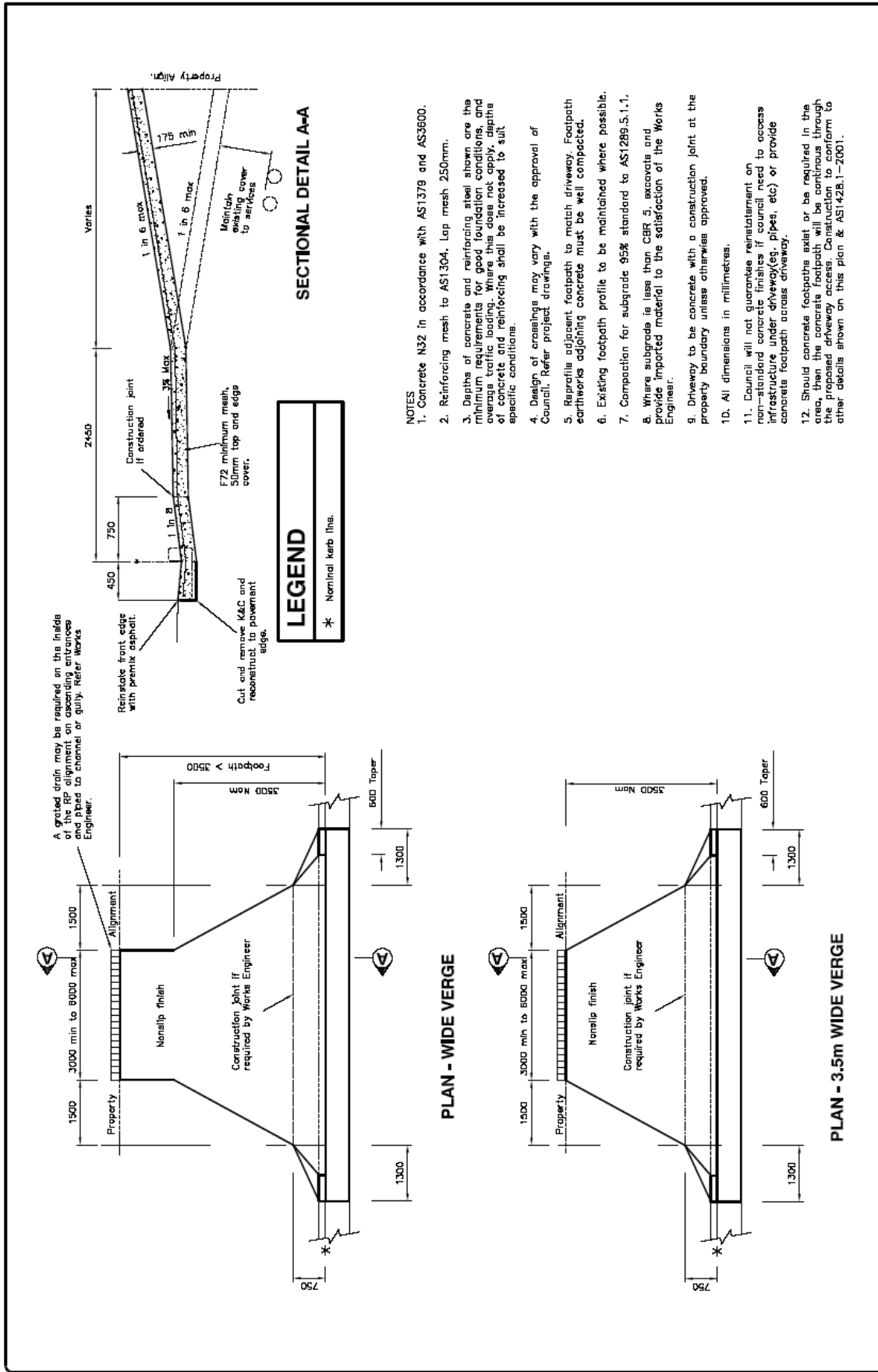
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<b>E</b>	Revisions to details	9/04	drawn
<b>B</b>	General Revisions	1/03	checked
<b>C</b>	General Revisions	9/03	designed
<b>D</b>	General Revisions	2/04	checked

Original signed by		General Manager of Engineering Operations	
BURNETT SHIRE COUNCIL			

RESIDENTIAL DRIVEWAY SLABS		Drawing No. R111	
<b>E</b>	<b>B</b>	<b>C</b>	<b>D</b>



Scales:		MP		B/C/A		d/c/a		D/g signed by 801 9/95	
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		DC		2/04		designed			
		DC		3/04		checked			
Sheet A3 , Datum: A.H.D.		Revisions							
E		General Revisions							
B		General Revisions							
C		General Revisions							
D		General Revisions							
Original signed by General Manager of Engineering Operations		BURNETT SHIRE COUNCIL				INDUSTRIAL AND COMMERCIAL DRIVEWAY SLAB TWO WAY ACCESS		Drawing No. <b>R112</b>	
<small>H:\11Acad_Sig\STANDARD\Burnett_Site_Council_Standards\R112E.dwg, 08/11/2004, 3:55:30 PM</small>		E		B		C		D	



**NOTES**

1. The Council Representative shall be notified before work commences to grant permission to perform works on the road reserve.
2. The pipe or box culvert size under the access shall be fixed by a Council Representative. If the table drain is too shallow for a culvert, a concrete invert may be required (see R113-2).
3. The contractor should determine the depth of pavement to suit work area after excavation. However the minimum depth of pavement is to be 150mm of CBR 60. Should Bitumen sealing be required, it shall be a two coat hot or cold seal with 16mm & 10mm aggregate to Council standards.
4. For Traffic control and safety, the minimum requirements from the Manual of Uniform Traffic Control Devices (MUTCD) must be in place before work commences.
5. No point of the completed access shall be no higher than edge of bitumen road less 50mm.
6. Rural pipe crossings shall have precast endwalls or sloping type headwalls for single/multiple pipes where directed. Where precast headwalls are not available, use wingwells cast in situ as per Main Roads drawings 1304, 1305 & 1306.
7. Urban pipe crossings shall have precast headwalls with wings (or equal to CSR Hurms Headwalls) for single/multiple pipes or a cast in situ endwall as per Main Roads drawings 1304, 1305 & 1306.
8. Council may however direct the use of sloping headwalls if required in lieu of the above rural/urban pipe crossing headwall.

PROPERTY SIZE	RECOMMENDED SIZE	AUTHORISED

Scales:  
NOT TO SCALE

Revisions	Rev	Description	Checked
A	General Revisions	1/03 RMC 5/04 MJP 8/04 R/04	drawn checked designed
B	General Revisions		
C	General Revisions		

Sheet A3

**BURNETT SHIRE COUNCIL**

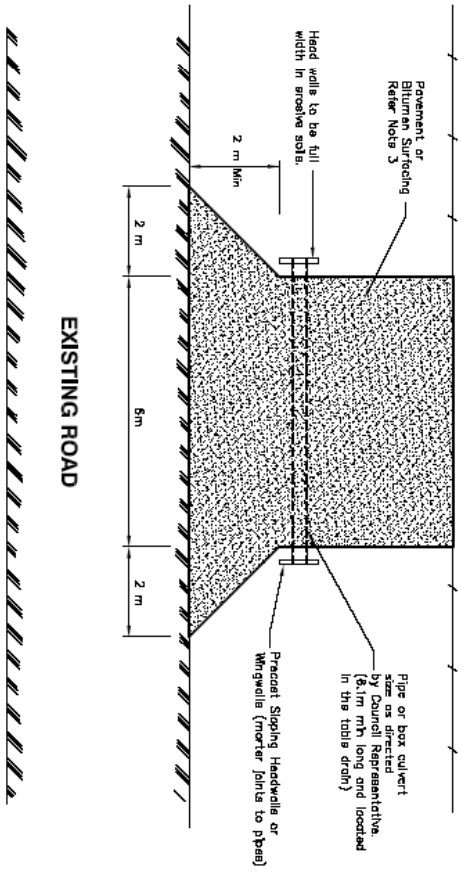
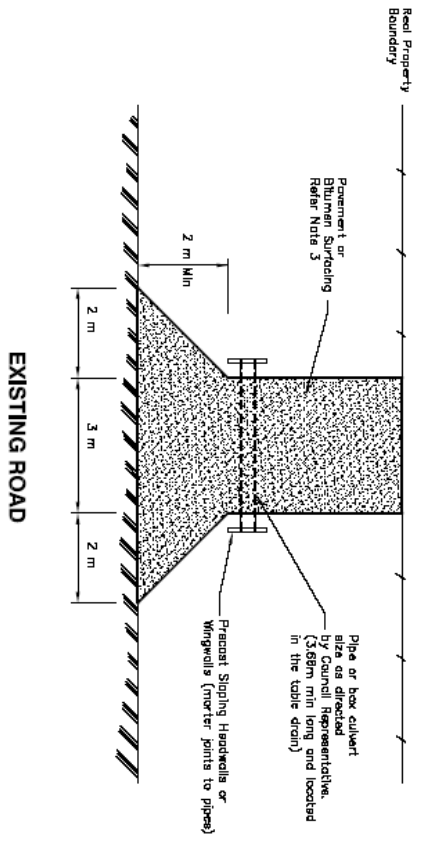


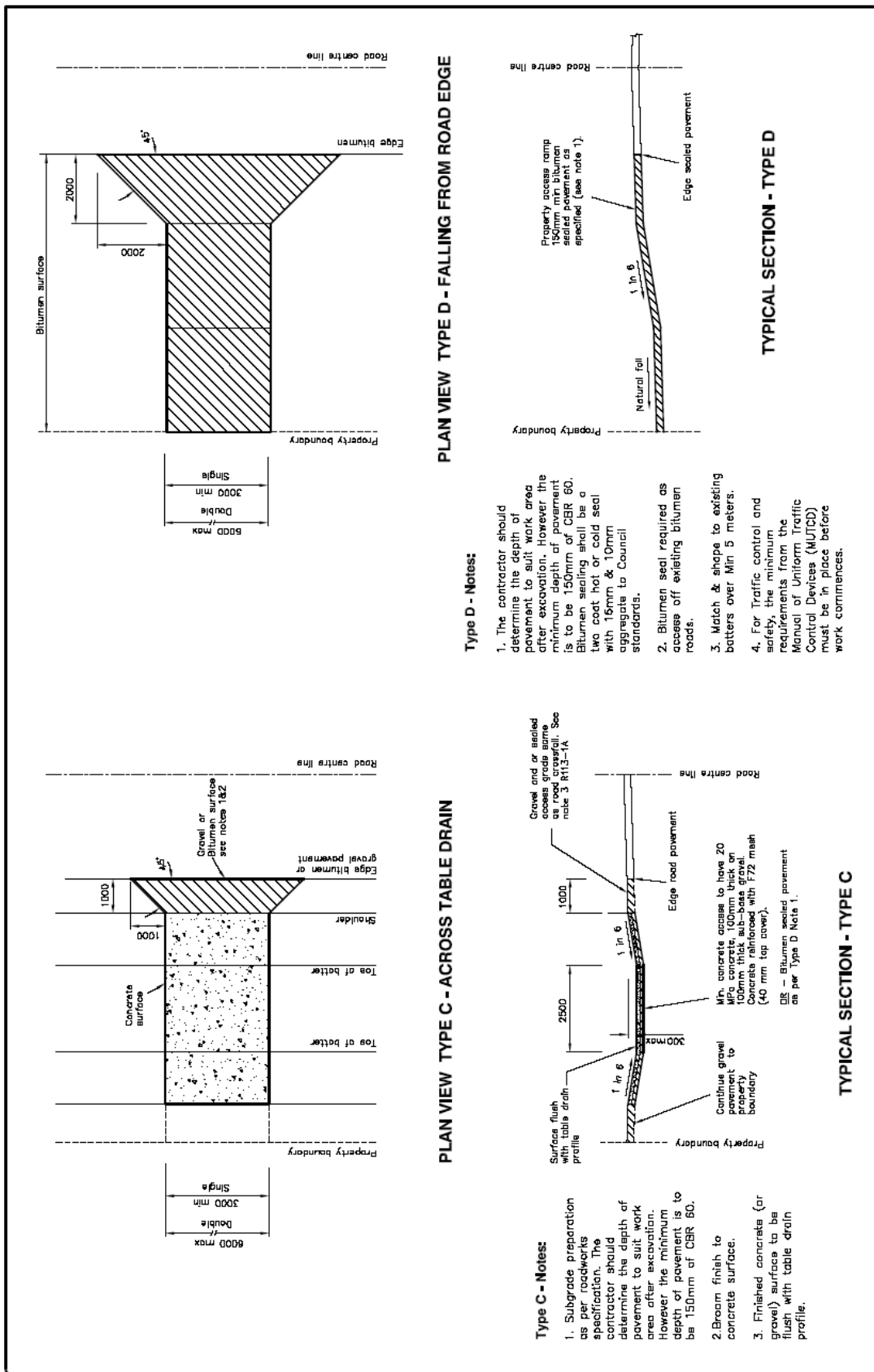
Original signed by  
General Manager of Engineering Operations

**RURAL AND URBAN ACCESSES REQUIRING CULVERTS NO KERB AND CHANNEL**

Drawing No. **R113-1**

A	B	C
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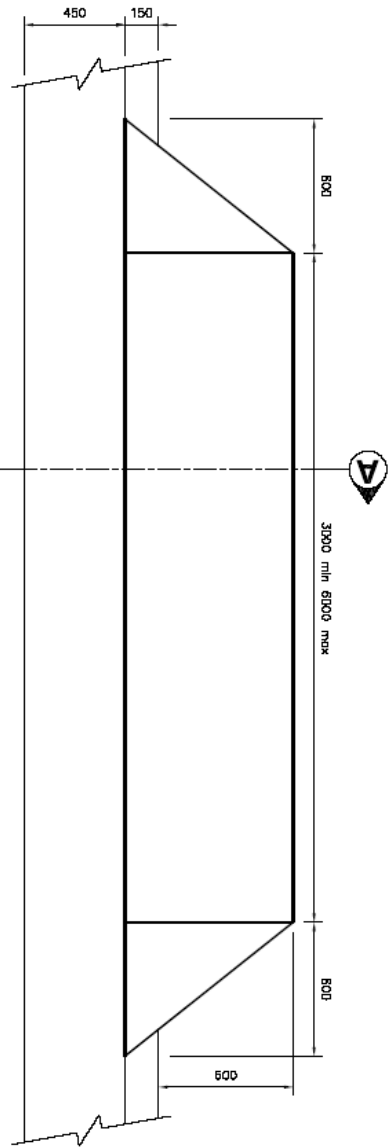
**Type D - Notes:**

1. The contractor should determine the depth of pavement to suit work area after excavation. However the minimum depth of pavement is to be 150mm of CBR 60. Bitumen sealing shall be a two coat hot or cold seal with 16mm & 10mm aggregate to Council standards.
2. Bitumen seal required as access off existing bitumen roads.
3. Match & shape to existing batters over Min 5 meters.
4. For Traffic control and safety, the minimum requirements from the Manual of Uniform Traffic Control Devices (MUTCD) must be in place before work commences.

**Type C - Notes:**

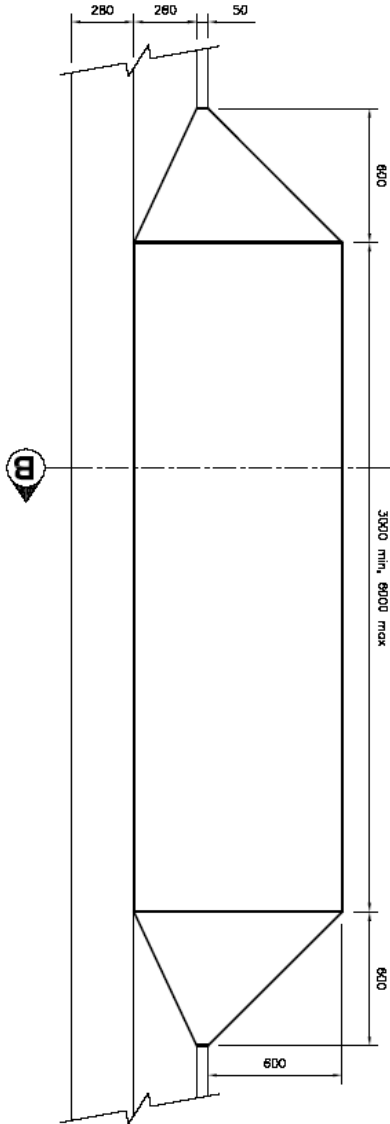
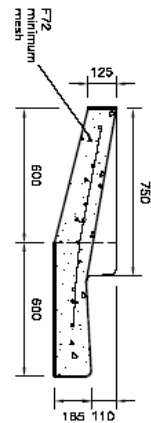
1. Subgrade preparation as per roadworks specification. The contractor should determine the depth of pavement to suit work area after excavation. However the minimum depth of pavement is to be 150mm of CBR 60.
2. Broom finish to concrete surface.
3. Finished concrete (or gravel) surface to be flush with table drain profile.

Scales:		A		Amended		7-01		Drawn by BDF 2/99	
NOT TO SCALE		B		General Revisions		1/03		Checked by	
		C		General Revisions		8/04		Designed by	
Sheet A3 - Datum: A.H.D.		Revisions						Checked	
BURNETT SHIRE COUNCIL					Original signed by General Manager or Engineering Operations				
RURAL AND URBAN ACCESSES NO KERB AND CHANNEL					H011Acad_dwg/STANDARD/SD/Unitel/SHire Council/Standards/R113/2004/30311.PW				
Drawing No. <b>R113-2</b>					A B C				



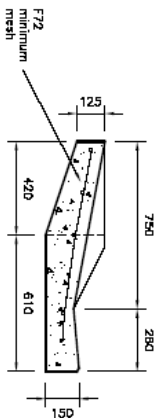
PLAN  
(Standard K&C)

SECTION A-A (DOMESTIC)  
(Standard K&C)



PLAN  
(Layback K&C)

SECTION B-B (DOMESTIC)  
(Layback K&C)



- NOTES**
1. Footpath section to vary where necessary to match concrete footpaths and verge profiles. Footpath earthworks adjoining concrete must be well compacted.
  2. Council will not guarantee reinstatement on non-standard concrete finishes if council need to access infrastructure under driveway (eg. pipes etc) and install concrete footpaths to Council standards.
  3. For Sectional Details on footpath/driveway access see Burnett Shire Council Plan R114.
  4. Residential crossings can be 3m min. to 6m max.
  5. All dimensions in millimetres.

Scales:		NOT TO SCALE		Sheet A3 - Datum: A.H.D.	
<b>A</b>	General Revisions	DRP	drawn	by	4/25
<b>B</b>	General Revisions	M/P	checked		
		S/D	designed		
			checked		
Revisions			Checked		
<b>BURNETT SHIRE COUNCIL</b>					
Original signed by: <i>[Signature]</i> General Manager of Engineering Operations					
<b>STANDARD DETAILS (LAYBACK &amp; STANDARD KERB &amp; CHANNEL)</b>					
K1114ard_dwg/STANDARD/BS/Burnett Shire Council Standards/114.dwg, 08/11/2004 2:02:28 PM					
Drawing No.		<b>R114</b>			
<b>A</b>	<b>B</b>				

## Schedule 5—Minimum Lot Areas, Frontage and Average Width

Zone / Precinct	Minimum Area (m <sup>2</sup> )	Minimum Frontage(m)	Minimum Average Width (m)
<b>COASTAL TOWNS PLANNING AREA</b>			
<b>URBAN RESIDENTIAL ZONE</b>			
<i>If Sewered</i>			
Small Lot Residential Precinct <sup>1</sup>	360	17 <sup>(1)</sup>	15
Large Lot Residential Precinct - Coral Cove	2000	28	24
Other	600	20 <sup>(1)</sup>	18
<i>If Unsewered<sup>2</sup></i>			
Large Lot Residential Precinct	4000	40 <sup>(2)</sup>	35
Moore Park Beach – Other than the Large Lot Residential Precinct	1500	25 <sup>(1)</sup>	20
Innes Park North (Between Rifle Range Road and Poincianna Drive)	2000	28 <sup>(1)</sup>	24
Other than the above circumstances	1000	20 <sup>(1)</sup>	18
<b>INDUSTRIAL ZONE</b>			
If Sewered	1000	25 <sup>(2)</sup>	18
If Unsewered <sup>3</sup>	1500	25 <sup>(2)</sup>	18

<sup>1</sup> Recommended reading: DLGP publication “Smart Houses For Small Sites – Guidelines For Designers”

<sup>2</sup> In **unsewered areas**, a larger lot size or a higher standard of treatment of waste water having regard to the geological and/or hydrogeological conditions of the site may be required.



Zone / Precinct	Minimum Area (m <sup>2</sup> )	Minimum Frontage(m)	Minimum Average Width (m)
<b>BUSINESS ZONE</b>			
<i>If Sewered</i>			
Bargara Recreational Business Precinct	1500	25	20
Other than in the Bargara Recreational Business Precinct	800	18	16
If Unsewered <sup>3</sup>	1500	20	18
<b>COMMUNITY ZONE</b>			
If Sewered	600	18	15
If Unsewered	1000	20	18
<b>RURAL PLANNING AREA</b>			
COMMUNITY ZONE	1000	20 <sup>(2)</sup>	18
<b>RURAL ZONE</b>			
Good Quality Agricultural Land – Class A	100 ha or 40ha if for horticultural purposes <sup>3</sup>	200	-
Good Quality Agricultural Land – Class B	200ha <sup>3</sup>	300	-
Otherwise	100 ha	200	-
<b>HINTERLAND RESIDENTIAL ZONE (See Map Ref : HRLS – Shire)</b>			
Area 1	1500	25 <sup>(1)</sup>	18
Area 2	2000	28 <sup>(1)</sup>	24
Area 3	4000	40 <sup>(2)</sup> (provided that the frontage to depth rates does not exceed 1:4)	35
Area 4	6000	45 <sup>(2)</sup>	40
Area 5	8000	60 <sup>(2)</sup>	55
Area 6	2 ha	75 <sup>(3)</sup>	65

(1) Minimum frontage for lots at the head of a cul-de-sac is 10m

(2) Minimum frontage for lots at the head of a cul-de-sac is 15m

(3) Minimum frontage for lots at the head of a cul-de-sac is 20m

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<sup>3</sup> The Reconfiguration of Good Quality Agricultural Land Planning Scheme Policy identifies the circumstances where the assessment manager may support reconfiguration of GOAL Class A or B land and the information needed to accompany these applications

## Schedule 6—Approvals Inconsistent with the Planning Scheme

This table identifies approvals which are inconsistent with the planning scheme.<sup>4</sup>

Notation	Column 1 Real Property Description	Column 2 Street Address	Column 3 Type of Land Use	Column 4 Existing Zone	Column 5 Day of Approval

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<sup>4</sup> Under the IPA, the Local Government must note on its planning scheme an approval that is inconsistent with the scheme.





Schedule 7—Advertising Devices  
Exclusion Areas

Figure 7.1 Moore Park Road

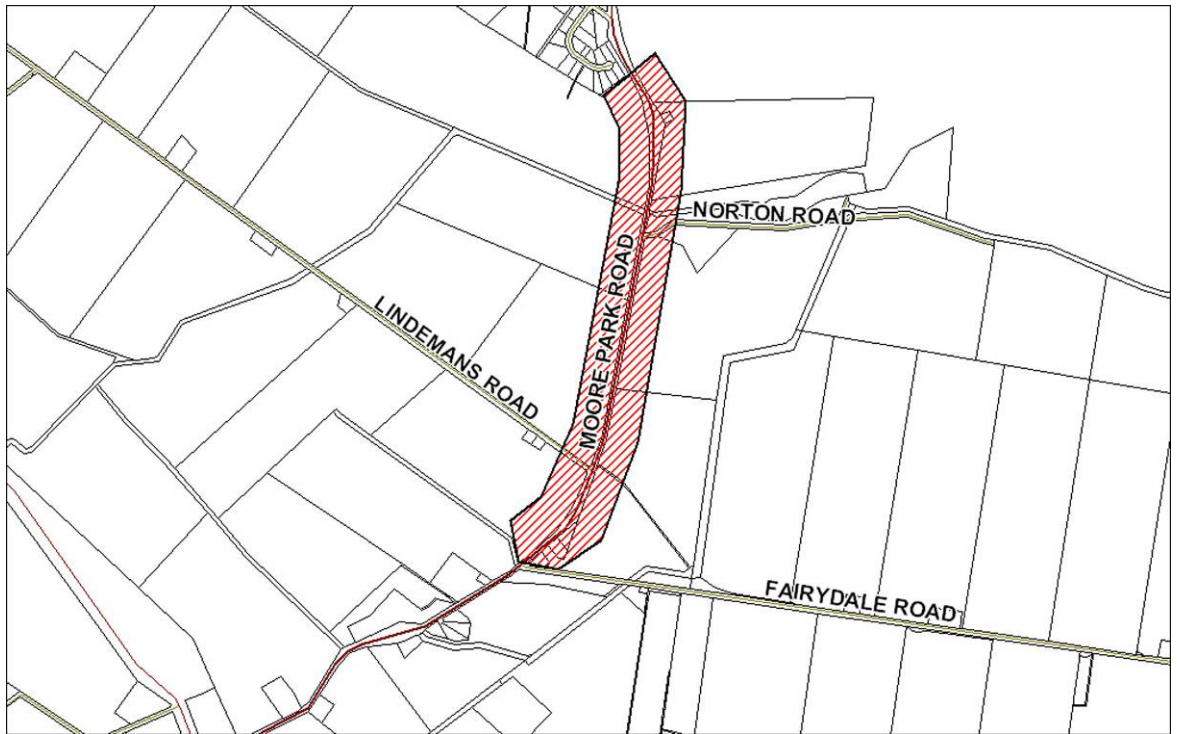




Figure 7.2 Port and Burnett Heads

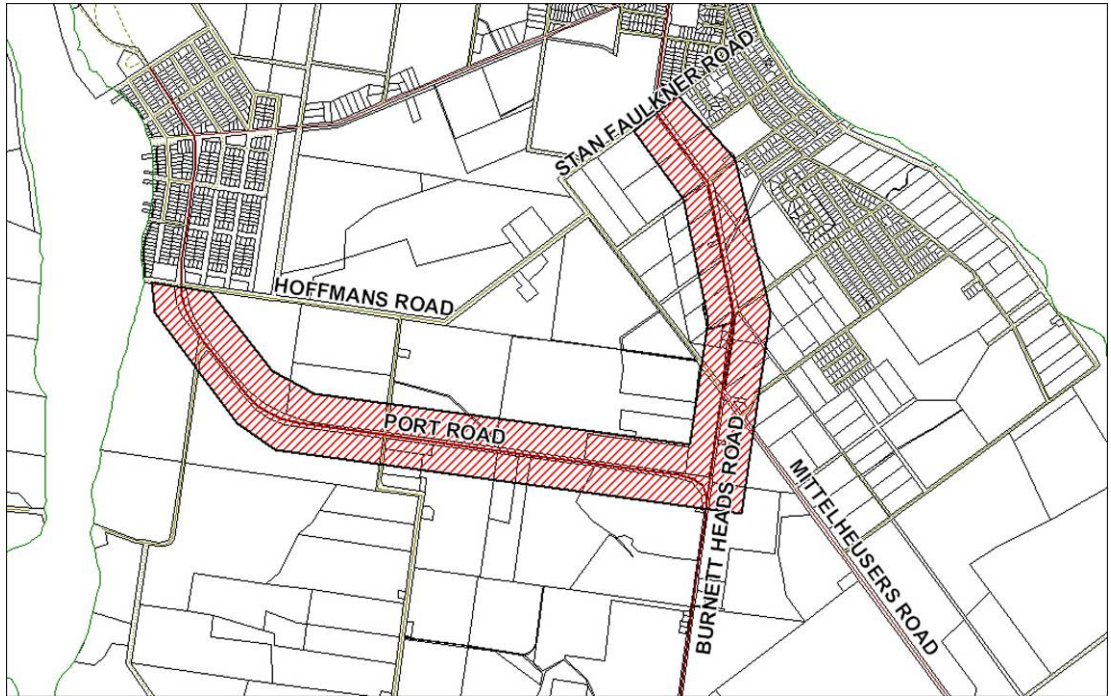


Figure 7.3 Bargara Road

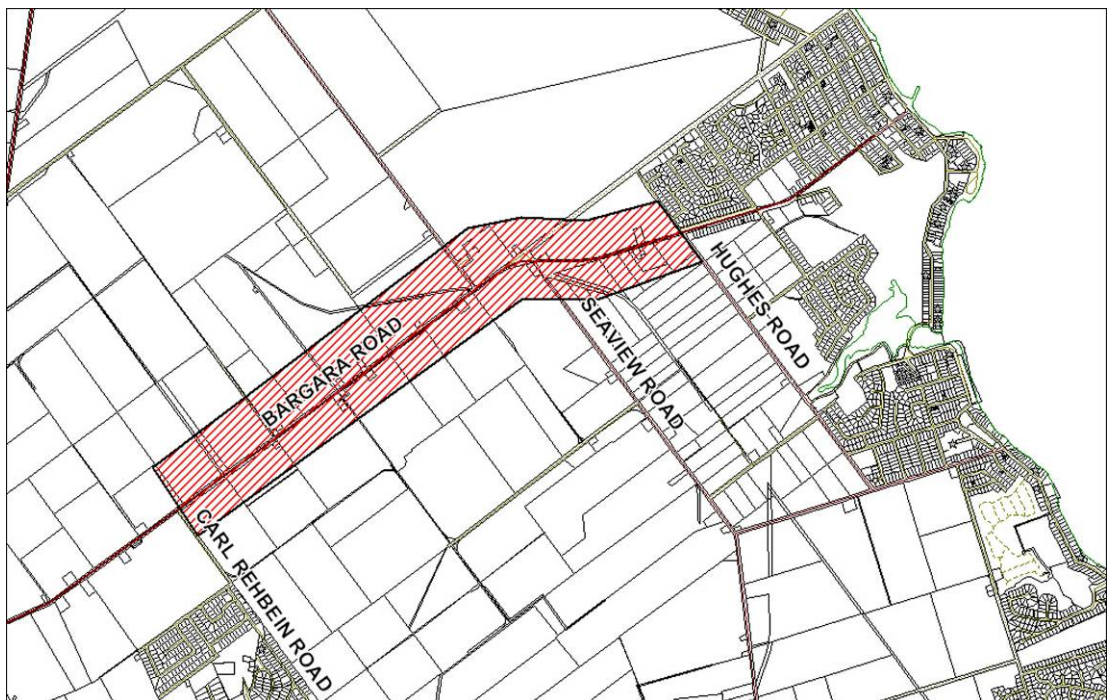


Figure 7.4 Windermere Road

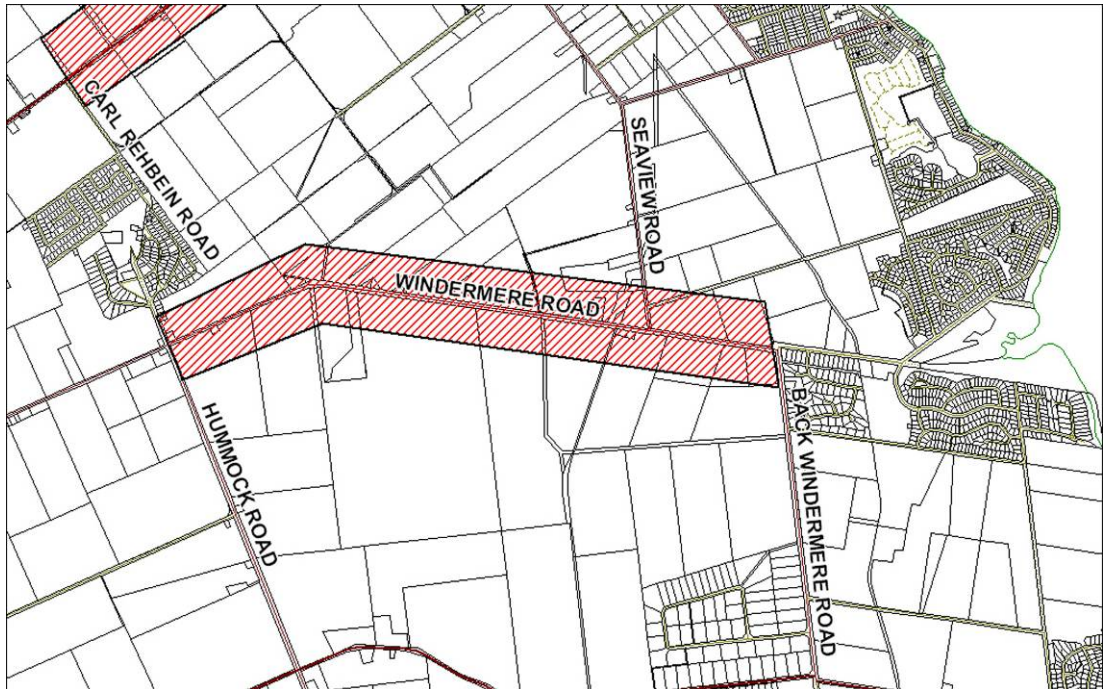


Figure 7.5 Innes Park

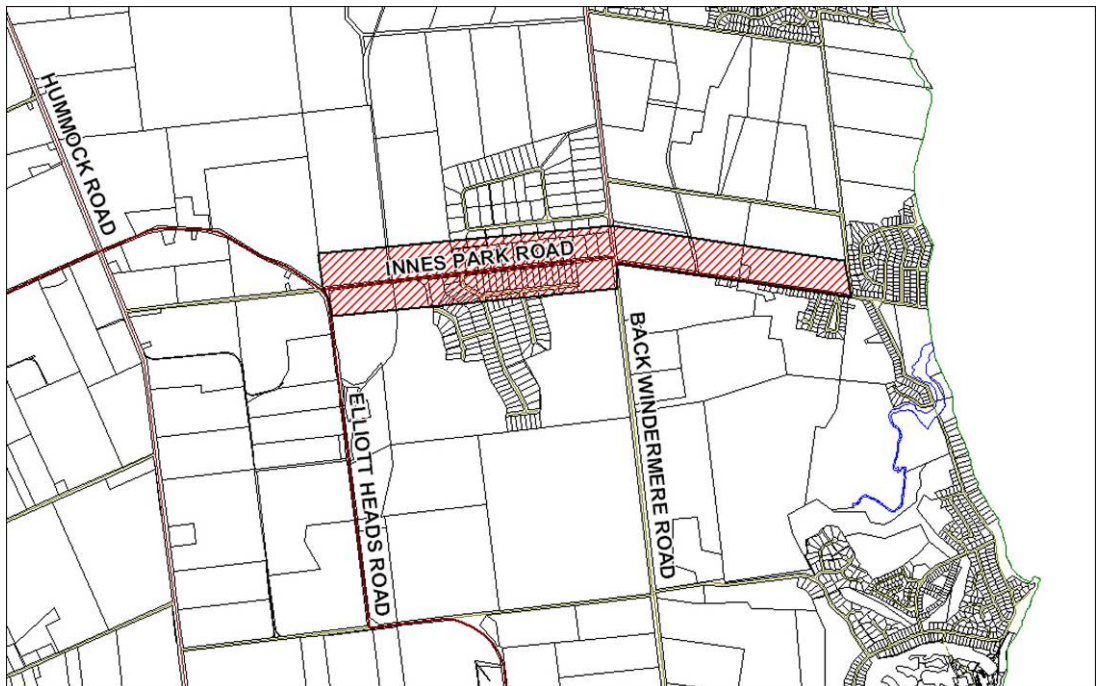
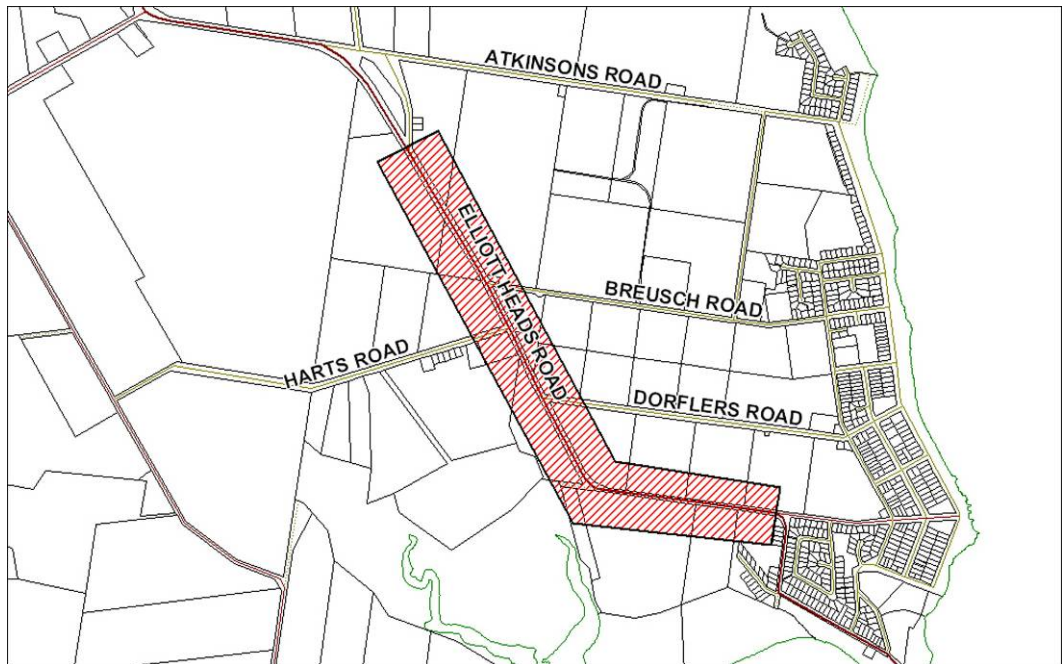


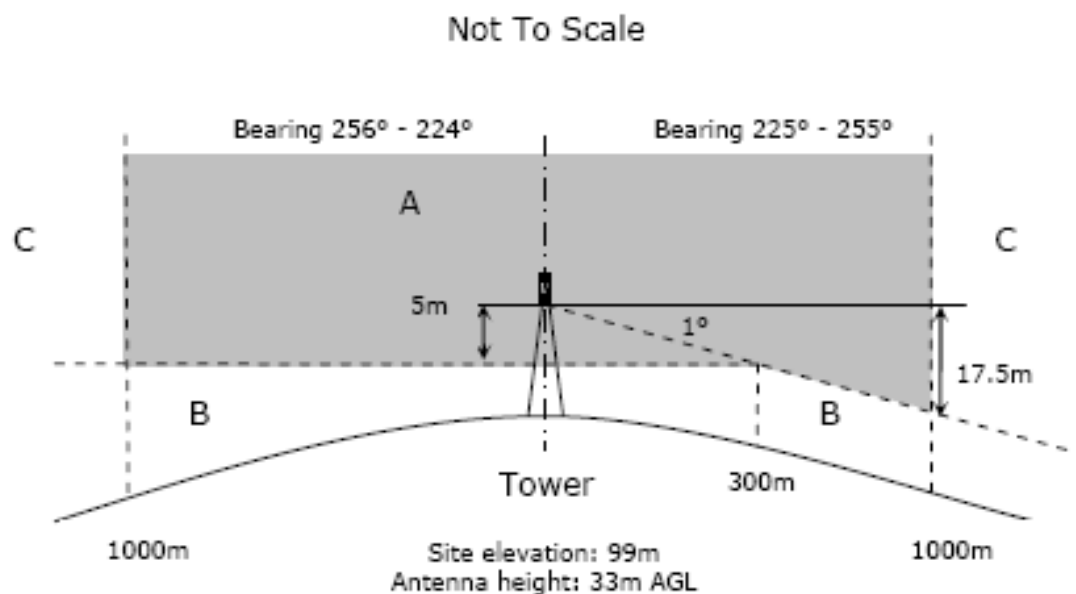


Figure 7.6 Elliott Heads Road

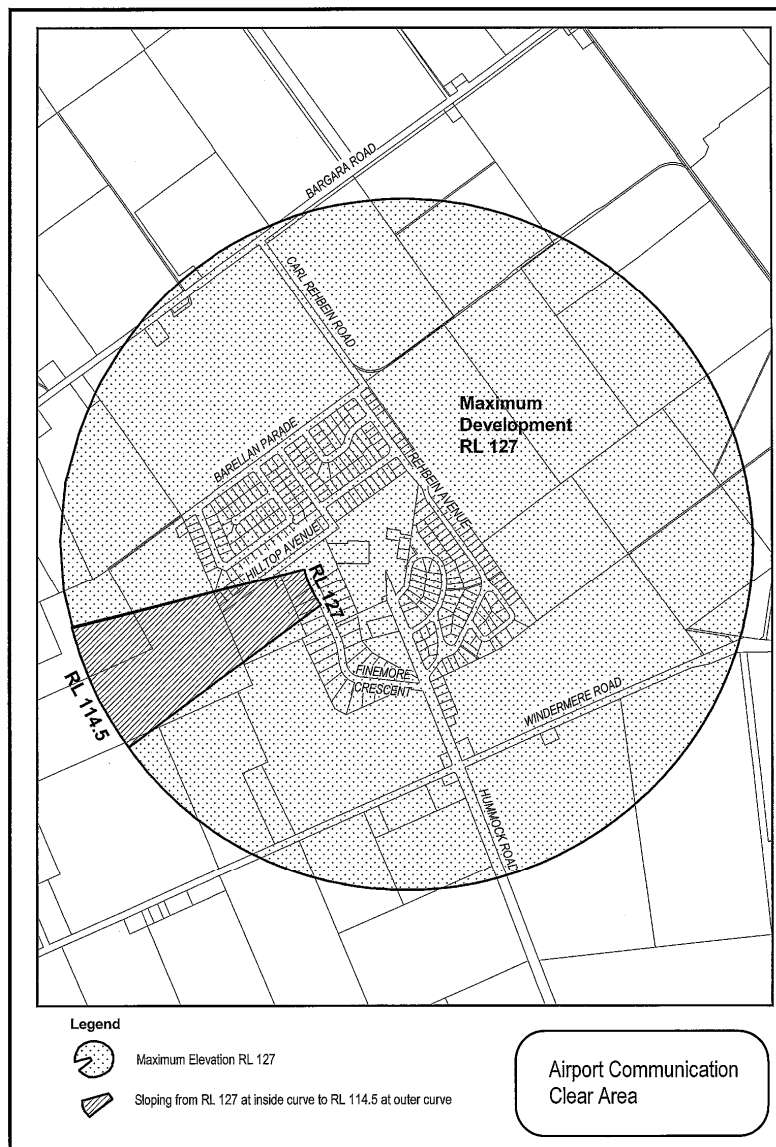


## Schedule 8—Sensitive Areas for Aviation Facilities (VHF) — Sloping Hummock

1. The Sloping Hummock VHF facility provides air/ground radio communications between air traffic controllers and aircraft in the Burnett area and on the ground at Bundaberg aerodrome. To provide this service the facility requires unobstructed line of sight to the horizon in all directions and to the aerodrome.
2. The sensitive area marked in the diagram is defined with respect to the base of the Airservices Australia VHF antenna mounted on Telstra's tower. Special consideration is given for the area towards Bundaberg aerodrome ( $225^{\circ}$  to  $255^{\circ}$ ).



3. Development Constraints—
  - A. All buildings, structures, trees, fences or any other physical obstructions are incompatible.
  - B. Buildings, trees, overhead cables (power and telephony) and fences that fit beneath the profile are compatible.
  - C. No constraints
4. The following diagram provides further guidance as to the affected areas surrounding the Sloping Hummock.



## Schedule 9—Dictionary

### 9.1.1 Introduction

(1) This schedule contains the following—

- (a) 9.1.2 Defined Use classes;
- (b) 9.1.3 Defined uses for uses listed in the assessment tables;
- (c) 9.1.4 Administrative terms — defined uses that are not listed in the assessment tables;
- (d) 9.1.5 Meanings of terms relating to advertising devices; and
- (e) 9.1.6 Administrative terms.

### 9.1.2 Defined Use classes

*In this planning scheme—*

*“Business”* includes General Business; Home Based Business; and Low-scale Business.

*“Community”* includes Child Care Centre, Educational Establishment; Emergency Services; Park; Public Utility Undertaking; Special Use; Telecommunications Facility (major); and Telecommunications Facility (other).

*“Industry”* includes Extractive Industry, General Industry, Light Industry and Rural Industry.

*“Residential”* includes a Caretaker’s Residence, Detached Dwelling, Domestic Storage; Dual Occupancy, Higher-density Housing and Tourist Park.

*“Rural”* includes General Agriculture and Intensive Animal Use.



### 9.1.3 Defined uses for uses listed in the assessment tables

In this planning scheme—

*“Caretaker’s Residence”* means a use of premises for residential accommodation comprising a dwelling unit for caretaker or management purposes in connection with a non-residential use conducted on the same site.

*“Child Care Centre”* means use of premises for the minding or care, but not residence of children generally under school age but does not include a Home Based Business.

*“Detached Dwelling”* means the residential use of a dwelling by one household and may incorporate relative’s accommodation that is not self contained and an ancillary shed on the same lot.

*“Domestic Storage”* means use of a shed or other storage facility (such as a shipping container) for storage of domestic goods including boats, cars, household items and tools not associated with a detached dwelling on the same lot and not for commercial gain.

*“Dual Occupancy”* means premises containing two dwellings.

*“Educational Establishment”* means a school, college, university, technical institute, academy or other educational centre other than a child care facility.

*“Emergency Services”* means a station or depot for ambulance services, fire and rescue services, air sea rescue, police services, state emergency services or similar activity.

*“Extractive Industry”* means the use of premises for—

- (1) dredging, excavating, quarrying, sluicing or otherwise winning materials including sand, gravel, soil, rock, stone or similar substances from the place where it naturally occurs (not being an extractive activity which is subject to the *Mineral Resources Act 1989*); or
- (2) the storage, crushing, screening, washing, processing, blending or other similar treatment processes of material extracted on the premises (including materials extracted in association with subdivision works), ancillary buildings and any weighbridge associated with the use but does not include concrete batching plant or asphalt plant; or
- (3) any activity undertaken in association with an activity pursuant to paragraphs (1) or (2) to avoid or mitigate impacts

on the environment (including approved rehabilitation work) on the premises. .

**“General Agriculture”** means the use of premises for the growing of crops, pastures, turf, flowers, fruit, vegetables, plants, trees and the like and the growing and keeping of animals. The term includes—

- (1) grazing or the keeping, breeding or training of animals including livestock;
- (2) Aquaculture that is not an intensive animal use;
- (3) farm forestry;
- (4) a wholesale nursery provided there are no sales direct to the public;
- (5) the preparing, packing or handling of the raw produce for transport from the premises with an accumulated GFA of 150m<sup>2</sup>;
- (6) a roadside stall, fronting a road, to sell products produced on the premises with a maximum GFA of 9m<sup>2</sup>;
- (7) storage sheds, outbuildings and other associated facilities; and
- (8) the servicing or maintenance of machinery associated with the use; and
- (9) does not include processing activity involving animals, animal products or timber, or Domestic Animal Keeping.

**“General Business”** means any business that is not elsewhere defined.

**“General Industry”** means any industry that is not elsewhere defined.

**“Higher-density Housing”** means any residential use that is not elsewhere defined. The term includes uses such as aged persons accommodation, backpacker hostel, motel, multiple dwelling, relocatable home park and resort hotel and may incorporate a caretaker’s or manager’s residence.

**“Home-based Business”** means the subordinate use of part of a dwelling or its curtilage for a business activity by a person or persons who reside there. The term includes premises for providing “bed and breakfast”, “farm stay” or similar short-term accommodation; or family day-care and does not include an industry use as herein defined.





***“Intensive Animal Use”*** means any one of the following—

- (1) Aquaculture—commercial production of fish, crustaceans or the like where
  - (a) waste water is discharged off site; or
  - (b) where wastewater is not discharged off site, the total surface area of ponds or tanks is greater than 200sqm; and
  - (c) includes any ancillary packaging or processing of products produced on site.
- (2) Cattery— keeping, boarding or breeding of 5 or more cats.
- (3) Dog keeping—keeping, boarding, training or breeding of 4 or more dogs. The term does not include the keeping of working dogs for purposes necessarily associated with general agriculture conducted on that land.
- (4) Feedlot—keeping, boarding or breeding cattle, sheep, goats or other animals or birds not otherwise included in this definition where such animals are held in pens and/or other enclosures and sustained on prepared or manufactured fodder (other than for drought or other emergency feeding purposes).
- (5) Piggery—keeping, pasturing, feeding or watering of pigs where exceeding 10 standard pig units<sup>5</sup>.
- (6) Poultry Farm—keeping of poultry where the number of birds exceeds 20.

In relation to feedlot, piggery and poultry farm, the term does not include any processing activity involving animals or animal products.

The term does not include Domestic Animal Keeping.

***“Light Industry”*** means an industry that is not an environmentally relevant activity as defined in the *Environmental Protection Act 1994* except for—

- (1) Metal Surface coating (Spray painting only);
- (2) Motor vehicle repair workshop (but excluding any panel beating); and
- (3) Printing (commercial screen painting).

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<sup>5</sup> 1 standard pig unit is the equivalent of a grower pig of 40kg (as defined in the *Environmental Protection Regulation 1998*)

***“Low-scale Business”*** means a business—

- (1) where the total use area is no greater than 80 sqm; or
- (2) a display home.

***“Park”*** means public land used for passive recreation, playground, outdoor sporting activity or similar purpose.

***“Public Utility Undertaking”*** means the use of premises for—

- (1) water treatment and/or storage; or
- (2) a waste management facility; or
- (3) sewerage treatment plant and/or sanitary depot; or
- (4) works depot or storage yard where conducted by a public sector entity.

The term does not include a minor electric line.

***“Rural Industry”*** means the use of premises for—

- (1) the handling, processing or packaging of primary products (including sale to the public) that have been grown on-site and where the gross floor area of the subject buildings, including any ancillary storage or administration functions, exceeds 150 square metres but does not exceed 500 square metres; or
- (2) the handling, processing or packaging of primary products that have been grown off-site, including any ancillary storage or administration functions, where the gross floor area does not exceed 500 square metres; or
- (3) a workshop for servicing plant and equipment used primarily in a rural use in the locality where the gross floor area does not exceed 200 square metres.

***“Special Use”*** means the use of premises:

- (1) for community, religious or cultural purposes including a cemetery;
- (2) for a hospital (but not a medical centre or day surgery facility); or
- (3) by a club for sporting or recreation purposes.



***“Telecommunications Facility - Major”*** means those telecommunications facilities not otherwise defined as Telecommunications Facility-Minor, Telecommunications Facility - Temporary, or Telecommunications Facility-Integrated under the Planning Scheme.

***“Telecommunications Facility – other”*** means the use of premises for a Telecommunication Facility - Integrated, Telecommunication Facility - Minor or Telecommunication Facility – Temporary.

***“Tourist Park”*** means the use of premises for accommodation in caravans, cabins, or tents predominantly for visitor accommodation. The term includes ancillary facilities and a dwelling for a manager or caretaker.

***“Undefined Use”*** means the use of premises for an activity not defined herein.

#### **9.1.4 Administrative terms — defined uses that are not listed in the assessment tables**

Terms defined in this section are administrative terms and do not appear in the assessment tables. They provide additional interpretation of the defined uses that appear in the assessment tables.

***“Aged persons accommodation”*** means permanent residential accommodation for persons who are predominantly retired or aged. The term includes the ancillary provision of communal recreational or medical facilities for residents of the site.

***“Bed and breakfast”*** means a dwelling used, by a resident of the dwelling, to provide short term accommodation for persons away from their normal place of residence.

***“Brothel”*** has the same meaning as the *Prostitution Act 1999*, Schedule 4.

**Business** means the following activities-

- (1) administration, clerical, technical activities, a professional practice; or
- (2) non-residential medical, health, personal or related services of a commercial nature; or,
- (3) the administrative functions of a public sector entity; or,
- (4) the display, sale, or offering for sale of goods or services; or,

- (5) an activity that would otherwise be a **light industry** and the *total use area* is less than 200m<sup>2</sup>, more than half of which involves the display, or offering for sale of goods to the general public; or,
- (6) Provision of financial services; or
- (7) The provision of entertainment services
- (8) other activities, not being an *industrial activity* (except in (5) above), conducted for commercial gain.

(Business includes a wide range of uses such as offices, banks, shops, retail showrooms, warehouses and cinemas)

**“Cabin”** means an unregistered movable dwelling that is provided for hire, complying with the requirements of the Building Regulations for the appropriate class of residential building.

**“Caravan”** means a registrable vehicle or an enclosed trailer designed principally for people to live in. It may be designed for attachment to another vehicle or to be self-propelled.

**“Domestic animal keeping”** means the keeping of any animal for interest, enjoyment or protection by residents of a dwelling.

**“Farm stay”** means a dwelling used to provide short term accommodation for persons away from their normal place of residence where such accommodation is situated on an operational farm.

**“Hostel accommodation”** means a supervised residential use with shared bathroom and sanitary facilities for more than 6 persons. The term includes backpacker hostel, boarding house, hotel accommodation but not a building classified as a class 1a, 2 or 9a building under the BCA.

**“Industry”** means an activity for a trade business or government enterprise which involves:

- (1) assembling, breaking up, cleaning, dismantling, maintaining, making, manufacturing, processing, repairing, servicing any goods, article or thing; or
- (2) modification of any goods, article or thing including assembly, dismantling or demolition; or
- (3) storing, keeping, or garaging any goods, article or thing; or
- (4) fitting parts, accessories or components to any goods, articles or things; or
- (5) treating waste; or



- (6) any operation connected with the installation of equipment or services, or the extermination of pest.

(Industry includes a wide range of uses such as engine repairs, dry cleaning, dressmaking, sewing, landscaping yards, locksmith, warehousing, manufacture of works of art or craft such as handicrafts, paintings and sculptures, the making of bread, cakes, pastries or confectionery)."

**"Motel"** means premises, not being a hotel, for temporary or short term accommodation of the travelling public. The term may include a dining facility on the same site for use predominantly by persons accommodated in the motel providing the seating capacity of such dining facility does not exceed the guest capacity of the motel.

**"Multiple dwelling"** means premises containing three or more dwellings.

**"Relocatable home"** means a self-contained dwelling complying with the requirements of the Building Regulations for the appropriate class of residential building, and being a dwelling that:—

- (1) comprises one or more major sections that are each constructed and assembled away from the subject premises;
- (2) is not capable of being registered under the *Traffic Act*; and
- (3) includes any associated structure that forms part of the dwelling.

**"Relocatable home park"** means a site containing spaces with required improvements and utilities that are leased for the placement of relocatable homes for the purpose of providing residential accommodation. The site may include services and facilities for the residents.

**"Resort Hotel"** means any premises used or intended to be used to provide accommodation for persons away from their normal place of residence, and where provision is made for leisure, sporting and entertainment facilities to be used by guests and visitors to the premises.

**"Telecommunications Facility -Integrated"** means those telecommunications facilities which achieve a high level of integration with the surrounding built or natural environment as a result of their compatible scale, height, bulk, materials, colour, and aesthetic appearance, and which satisfy the following qualification criteria:

- (1) The proposal does not involve the erection of a separate freestanding tower or other structure.

- (2) The telecommunications facility is visually concealed, or comprises an integral element of the building or structure upon which it is located.
- (3) The telecommunications facility does not contribute to a material increase in the bulk, or an increase in the height of the building or structure upon which it is located of over 6.5 metres in rural or industrial areas or 5.8 metres in any other area.
- (4) The colour, materials and configuration of the telecommunications facility achieves a high level of visual integration with the surrounding natural and/or built form.

The term does not include any telecommunications facility otherwise defined as a Telecommunications Facility - Major, Telecommunications Facility-Minor, or Telecommunications Facility - Temporary under the Planning Scheme.

***“Telecommunications Facility – Minor”*** means use of the premises for—

- (1) Provision of cabinets or booths for the provision of a pay phone or pay internet –access;
- (2) Satellite dishes not exceeding 3.0 metres in diameter;
- (3) A panel antenna flush-mounted and colour-matched to a building facade.
- (4) Infrastructure installed inside an existing building or structure where the equipment will not be seen from outside the building or structure.
- (5) An equipment cabinet not exceeding 1 cubic metre in volume to be attached to an existing structure or building.
- (6) Screening of a low-impact facility installation where the screening is regular in form, colour-matched to the predominant colour of the building or structure and where the screening does not extend more than 500mm beyond the extent of the low-impact facility to be screened.
- (7) An antenna to be co-located with an existing telecommunications facility where the new antenna(s) will not protrude vertically or horizontally from the face of the existing tower structure, bracket or mast more than the existing antenna(s) and the new antenna(s) will be colour-matched to the existing facility.
- (8) Pits, manholes, underground cabling and ducts provided the streetscape is not unduly varied.



- (9) Facilities subject to the Telecommunications (Low-impact Facilities) Determination 1997 where such facilities are located within an “Environmental Area” as defined under the Telecommunications (Low-impact Facilities) Determination 1997

The term does not include any telecommunications facilities otherwise defined as Telecommunications Facility-Major, Telecommunications Facility-Temporary, or Telecommunications Facility - Integrated under the Planning Scheme.

*“Telecommunications Facility - Temporary”* means any telecommunications facility of a temporary nature for the purposes of providing additional network capacity or facilities during special events (e.g. expositions, festivals, and major sporting events), or at times of excessive temporary customer demand for a period of time up to but not exceeding three (3) months. This may include ancillary buildings, containers, towers, poles and antennas necessarily associated with the facility. The term does not include any telecommunications facility otherwise defined as a Telecommunications Facility-Major, Telecommunications Facility - Minor, or Telecommunications Facility - Integrated under the Planning Scheme.

#### 9.1.5 Meanings of terms relating to advertising devices

**“Advertising device”** includes a structure, other than a building, that forms part of an advertisement or sign, or to which it is attached, or on which it is exhibited.

**“Awning fascia sign”** means a sign attached to the fascia of an awning.

**“Banner signs and bunting”** means a series of small flags, pennants, streamers, or ribbons suspended from a rope or cable above or within business premises.

**“Below awning sign”** means a sign attached to and supported below the awning.

**“Billboard sign”** means an advertising sign with an area greater than 4.5m<sup>2</sup> whether freestanding or attached or applied to a building.

**“Blind sign”** means a fabric or metal weather protector, either erectable or fixed, suspended from an awning or the face of a building over a door or window, to which a message is applied or attached.

“**Business plate**” means a sign identifying a business operating on the property, such as medical practitioners and professionals.

“**Canopy sign**” means sign that is painted or otherwise fixed to a canopy located over a window or a doorway whether the canopy is constructed from flexible or solid materials.

“**Fence sign**” means a sign that is either painted on or attached to a fence or wall along the road alignment of premises.

“**Flag sign**” means a sign in the form of a flag attached to a pole or rope. The term does not include a flag showing only the national symbol of any nation, state, local government area, culture or people.

“**Flush Wall sign**” means a sign painted on or affixed flat to a wall of a building.

“**Ground base sign**” means a sign permanently attached to the ground on its own supportive structure independent of any building. The term does not include a billboard or pylon sign.

“**Horizontal projecting wall sign**” means a sign attached to and projecting from the street façade of a building with the greater dimension being the projecting horizontal distance.

‘**Pole or pylon sign**’ means a sign erected on a pole or pylon independent of any building or other structure.

“**Vertical projecting wall sign**” means a sign attached to and projecting from the street façade of a building with the greater dimension being the projecting vertical distance.

#### 9.1.6 Administrative terms

In this planning scheme—

“**AHD**” means Australian Height Datum

“**Animals**” includes emus, ostriches and other similar large birds, fish, crustacean or the like. The term does not include domestic pets, including birds kept in aviaries, in accordance with any relevant local law solely for the interest, enjoyment or protection of the occupants of the premises concerned.





***“Annual exceedance probability (AEP)”*** the likelihood of occurrence of a flood of a given size or larger in any one year, usually expressed as a percentage. For example, if a flood has an AEP of 5% it means that there is a 5% risk (ie a probability of 0.05 or a likelihood of 1 in 20) of a peak flood discharge occurring in any one year. The AEP of a flood event gives no indication of when a flood of that size will occur next.

***“Assessment criteria”*** means those parts of the scheme measures that establish the outcomes sought for self-assessable and assessable development, including overall and specific outcomes, acceptable solutions and probable solutions.

***“Aviation activities”*** means the flying of aircraft, whether fixed wing, hang gliding, helicopters, lighter-than-air craft, and parachuting.

***“Battleaxe lot”*** or ‘hatchet shaped lot’ or ‘rear lot’ means a lot in which the majority or its entire frontage comprises its access and in which most of its area is separated from dedicated roads by other lots.

***“BCA”*** means the Building Code of Australia.

***“Boundary clearance”*** means the distance from a property boundary, other than the road frontage boundary, to the outermost projection of a building or structure.

***“Building”*** has the same meaning as in the IPA.

***Building setback line”*** means the line as shown on Figure Sch 9-1 from which buildings are to be setback to maintain a development free buffer where coastal processes can occur naturally without the need for property protection works.

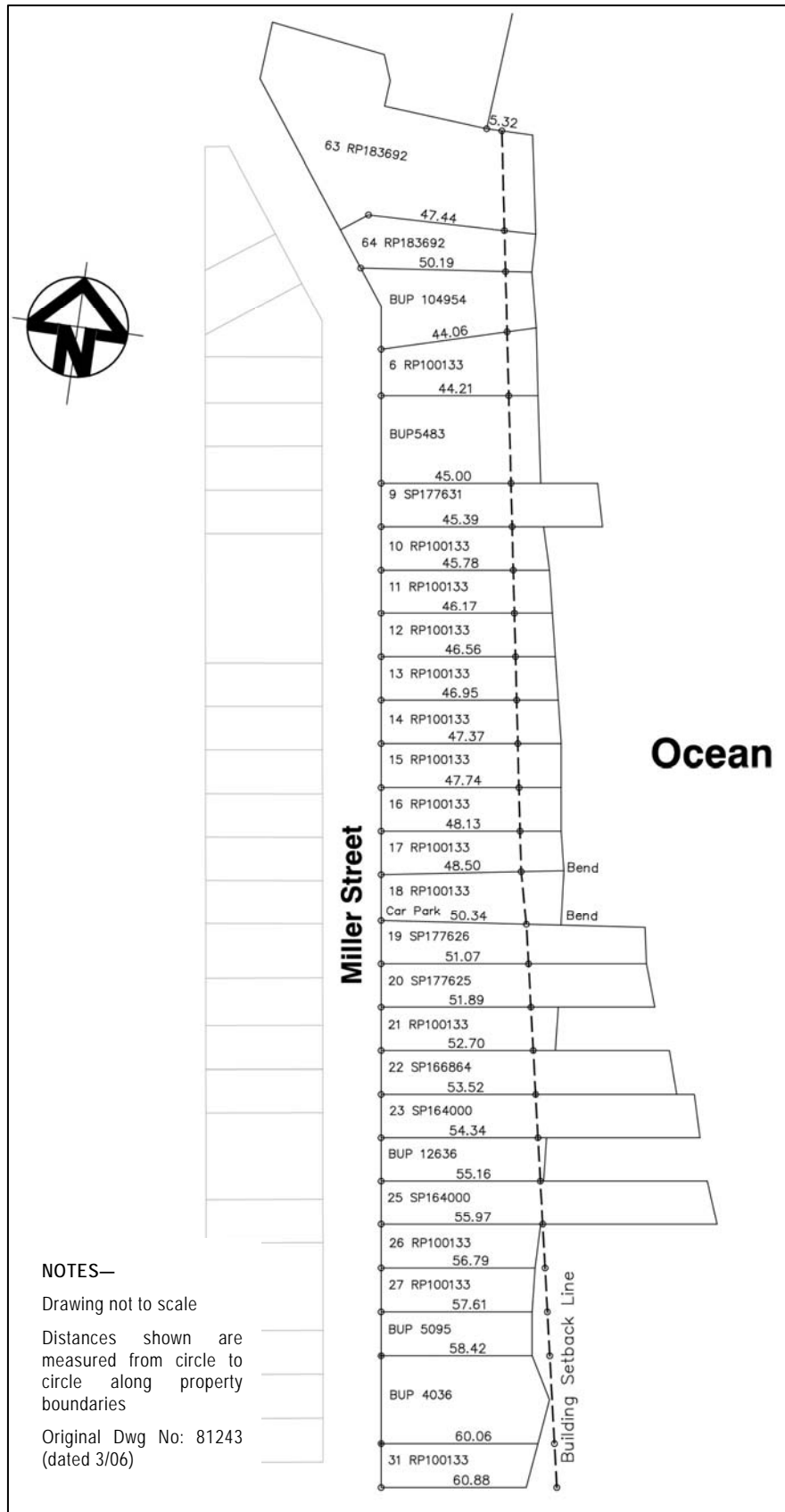


Figure Sch 9-1 — Building Setback Line



***“Community infrastructure”*** has the same meaning as in the IPA.

***“Contaminant”*** has the same meaning as in the *Environmental Protection Act 1994*, Section 11.

***“Continuous accessible path of travel”*** means an uninterrupted path of travel to or within a building, providing access to all required facilities. For non-ambulatory people, this accessible path does not incorporate any step, stairway, turnstile, revolving door, escalator or other impediment which would prevent it from being safely negotiated by people with disabilities.

***“Cultural heritage significance”*** refers to those sites, places and objects of aesthetic, historic, scientific, social or spiritual value for past, present and future generations.

***“Defined flood event (DFE)”*** for Burnett Shire is 1% AEP.

***“Demolition”*** in relation to a building or structure includes the removal of that building or structure in whole or in part.

***“Designated bushfire prone area”*** see Section 1.9.

***“Desired environmental outcomes”*** are stated in Part 3 of this planning scheme and are key elements of the planning scheme in accordance with section 2.1.3 of the IPA.

***“ Dwelling”*** means a building or part of a building providing self-contained accommodation for the exclusive residential use of one household. The term includes outbuildings and works normally associated with a dwelling.

***“Electric line”*** has the same meaning as in the *Electricity Act 1994*.

***“Environmental nuisance”*** has the same meaning as in the *Environmental Protection Act 1994*.

***“Environmentally relevant activity”*** has the same meaning as in the *Environmental Protection Act 1994*.

***“Environmental value”*** has the same meaning as in the *Environmental Protection Act 1994*.

***“External building work”*** means building work that is outside the external surfaces of an existing building.

***“Farm shed”*** means a shed ancillary to the use of the land for General Agriculture.

***“Filling and excavation”*** means activities that involve excavating or filling that materially affects premises or their use.

**“Foreshore”** means the land lying between high water mark and low water mark as is ordinarily covered and uncovered by the flow and ebb of the tide at spring tides.

**“Foreshore reserve”** means any unallocated State land adjacent to foreshore which has been dedicated for a reserve for purposes such as community use or environmental protection.

**“Foreshore road”** means an area of land along the foreshore, but not necessarily on the foreshore, whether surveyed or unsurveyed—

- (1) dedicated, notified or declared to be a road for public use;
- (2) taken under an Act, for the purpose of a road for public use.

The term includes—

- (1) a street, esplanade, reserve for esplanade, highway, pathway, thoroughfare, track or stock route; and
- (2) a bridge, causeway, culvert or other works in, on, over or under a road; and
- (3) any part of a road.

**“Frontage”** means the boundary or boundaries of any lot abutting a road.

**“Good quality agricultural land”** means land that is capable of sustainable use for agriculture, with a reasonable level of inputs, and without causing degradation of land or other natural resources. Pursuant to *“The Identification of Good Quality Agricultural Land Planning Guidelines”*, good quality agricultural land includes agricultural land Class A and Class B depicted on Map Ref : SRER 1 – SRER 16.

**“Gross floor area”** or **“GFA”** means the sum of the floor area (inclusive of all walls, columns and balconies, whether roofed or not) of all storeys of every building located on a site. The term does not include areas used for building services (such as air conditioning plant and equipment) or areas associated with the parking, loading and manoeuvring of motor vehicles.

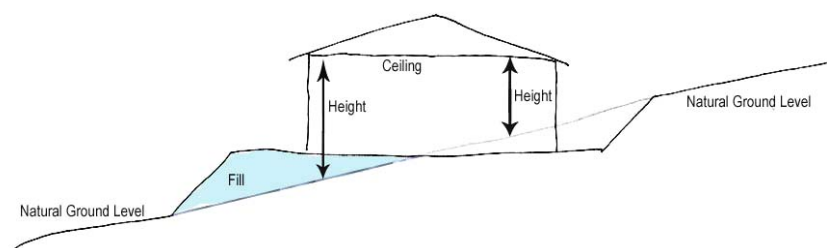
**“Hazardous materials in bulk”** as defined in the Dangerous Goods Safety Management Act 2001 in quantities that would be equivalent to or exceed the minimum quantities set out to determine a Large Dangerous Goods Location in the Dangerous Goods Safety Management Regulation or would require a licence for a magazine for the storage of an explosive under the Explosives Regulation 1955.



**“Height”** means the distance measured in a vertical plane between either—

- (1) the natural ground level; or
- (2) the minimum habitable floor level in regard to known inundation levels for flood and storm tide,

and the uppermost ceiling of a building or, where there is no ceiling, where the highest part of the wall connects with the roof, whichever is the greater. For a structure, the height is measured in a vertical plane from natural ground level to the highest point of that structure.



**“Household”** in relation to a building, means a person or group of persons occupying a dwelling.

**“Heritage building”** means any building identified in Schedule 1.

**“Horticultural Purposes”** means the cultivation on a commercial basis of fruits, vegetables, flowers or ornamental plants. The term does not include private gardens or plant nurseries open to the public.

**“Indigenous cultural heritage place”** means a place where evidence of indigenous occupation or use can be established.

**“Indigenous cultural heritage structure or item”** means an item or structure directly associated with indigenous occupation.

**“IPA”** means the *Integrated Planning Act 1997*.

**“Key resource area”** means the extractive resource areas identified on map series SRER 1 and includes the resource/processing area, the separation area; and the haul route.

**“landscaped buffer”** means landscaping comprising predominantly shrubs having a compact habit, but also containing trees and ground cover, that, within 2 years of planting, is at least—

- (1) 70% opaque when viewed horizontally; and
- (2) 4.0 metres high.

***“Landscaping”*** means the—

- (1) provision of gardens, screen planting, buffering or the like, through the planting or retention of trees, shrubs, ground cover; and
- (2) the construction of incidental facilities such as pathways, water features, shade structures, seating, irrigation, walls, and fences, all of which are constructed and maintained so as to enhance the appearance, amenity or attraction of a site and its surroundings; and
- (3) does not include areas for the storage of refuse receptacles, clothes drying areas, or areas on which vehicles are ordinarily driven or on which goods are placed.

***“Level of assessment”*** means the assessment identified in the planning scheme as being one or other of the following—

- (1) exempt;
- (2) self-assessable;
- (3) assessable development:
  - (a) requiring code assessment (or referred to as code assessable);
  - (b) requiring impact assessment (or referred to as impact assessable).

***“Minor building work”*** means—

- (1) for building work associated with an existing detached dwelling:
  - (a) Fixed umbrellas or shade structures;
  - (b) Patios;
  - (c) Extensions;
  - (d) Swimming pools;
  - (e) Open carport; and
  - (f) Lawn lockers,
- (2) fences; and
- (3) temporary buildings or structures such as caravan annexes;



***“Minor electric line”*** means an electric line<sup>6</sup> that has a nameplate of 66kV or less and includes all associated equipment and works.

***“Natural accretion”*** is the growth or increase of property by accumulation or addition of land usually consisting of sediments or other organic materials due to natural processes.

***“Natural ground level”*** means in the case of a site—

- (1) where the level of the site has not been altered, the level of the site; or
- (2) where the level of the site has been lawfully altered, the as-constructed finished surface level of the site; or
- (3) where the level of the site has been unlawfully altered, the level of the site as if the site had not been unlawfully altered.

***“Noise sensitive place”*** means—

- (1) a Detached dwelling, mobile home or caravan park, residential marina or other residential use; or
- (2) a motel, hotel or hostel; or
- (3) a kindergarten, school, university or other educational institution; or
- (4) a medical centre or hospital; or
- (5) a park or gardens.

***“On premises”*** in relation to an advertising device, includes on a fence or wall fronting a road.

***“Operational airspace”*** in relation to Bundaberg Airport is the space above the Obstacle Limitation Surface (OLS) shown on Map Ref : INFRA 2.

***“Overlay”*** means the geographical layer overlaying the zones in this planning scheme that are based on special attributes of an identified area, place or site (see section 1.8).

***“Planning area”*** means the divisions into which land within the local government area is partitioned in accordance with section 1.4 as the primary level for organising the provisions of this planning scheme. Land within the local government area is included in one of two planning areas.

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<sup>6</sup> see the *Electricity Act 1994*

**“Precinct”** means the geographical layer to zones in this planning scheme that promotes a land use pattern and character peculiar to that precinct (see section 1.6).

**“Premises”** has the same meaning as in the IPA.

**“Principal local government road”** is a local government road identified as such on Map Ref : INFRA 1.

**“Probable solution”** see section 1.15.

**“Recharge Areas”** means the area where water can enter and move downward to the groundwater. Recharge areas are usually permeable in the upper slopes and are often on shallow soils.

**“Remnant vegetation”** has the same meaning as in the *Vegetation Management Act 1999*.

**“Residential land”** means land on which a residential use is carried out or which is included in the Urban Residential Zone or Hinterland Residential Zone.

**“River”** means a watercourse being either the Burnett River, Elliott River, Kolan River or Baffle Creek.

**“Road”** has the same meaning as in the Transport Infrastructure Act 1994.

**“Roadway”** means works constructed to provide for, as one of its main uses, the driving or riding of motor vehicles.

**“Routine management”**, with respect to clearing vegetation, means—

- (1) establishing or maintaining a fire break sufficient to protect a building, property boundary or paddock; or
- (2) clearing vegetation that is likely to endanger the safety of a person or property on the land because the vegetation is likely to fall; or
- (3) maintaining an existing fence, stock yard, shed, road or other built infrastructure; or
- (4) maintaining an existing garden or orchard.

**“Scheme map”** means any map included as part of this scheme that shows planning areas, zones, overlay areas or precincts.

**“Self-contained”** means a dwelling containing a kitchen, bathroom and laundry.





**Setback** means—

- (1) the distance from the property boundary to the outermost projection of a building (including balconies) or structure; or
- (2) if the site incorporates the frontal dune, the distance between the top of the frontal dune and the closest part of the building (including balconies) or structures for that part of the site. For other boundaries (1) applies.

Minimum setback from property boundaries for storeys above ground level are measured from the height of the floor level for each storey.

**Shade tree** means a tree species which, after maturing through favourable growing conditions, is capable of providing a canopy not less than 4.0 metres diameter that is at least 3.5 metres above ground.

**Shed** means a Class 10 building or structure<sup>7</sup> wholly or partly enclosed by walls whether fixed or moveable.

**Site cover** means the total area covered by all buildings expressed as a percentage of the total site area and measured by projecting onto a horizontal plane the outer most part of all buildings contained on the site, including—

- (1) all verandahs, balconies, patios, external staircases and building eaves; and,
- (2) all ancillary buildings.

**Standard pig unit** means the equivalent of a grower pig of 40 kilograms.

**State controlled road** has the same meaning as in the *Transport Infrastructure Act 1994*.

**Storey** means a space within a building the vertical limits of which are delineated by a floor and the surface immediately above the floor, whether that surface is a ceiling, the floor of the storey next above or a roof. A mezzanine is a separate storey. A Storey does not include—

- (1) a rooftop terrace; or
- (2) a space that contains only—

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<sup>7</sup> The Class is defined in accordance with the *Building Code of Australia*.

- (a) a lift shaft, stairway or meter room; or
- (b) a bathroom, shower room ,laundry, water closet, or other sanitary compartment; or
- (c) lift motor, air conditioning or other mechanical or electrical plant at roof top level; or
- (d) accommodation intended for not more than 3 vehicles; or
- (e) a basement car park where any part of the ceiling is not higher than 1.0m above natural ground level; or
- (f) a combination of (a) to (e) above.

**“Street elevation”** means those elements of a building or structure that would be projected at right angles onto a vertical plane along any frontage.

**“Sub artesian area”** for the purpose of this planning scheme is a declared groundwater area as depicted in Map Series WRB 1.

**“Tables of assessment”** see Parts 3, 4, 5, 6 and 7.

**“Total use area”** means the gross floor area of a building together with any outdoor part of the premises used or intended for use as part of a particular development in a manner likely to generate car parking demand. The term does not include plant or equipment rooms, toilets, stairwell or any area used for the access, parking or manoeuvring of motor vehicles.

**“Unscreened window”** means a window, facing or within 45 degrees of facing an adjacent boundary, that is not screened by louvres, shutters, lattice or a similar device. The term does not include a window comprising frosted glass, or similar, nor any window with a sill more than 1.5 metres above the adjacent floor level.

**“Watercourse”** means a river, creek, stream (including bed and banks) in which water flows permanently or intermittently in a natural channel, whether artificially improved or not.

**“Wetland”** means an area of permanent, periodic or intermittent inundation, whether natural or artificial, with water that is static or flowing, fresh, brackish or salt including areas of marine water; tidal wetlands, estuaries, salt marshes, melaleuca swamps (and any other coastal swamps), mangrove areas, marshes, lakes or minor coastal streams.

**“Wildlife-attracting use type B”** means a use involving one or more of the following activities—

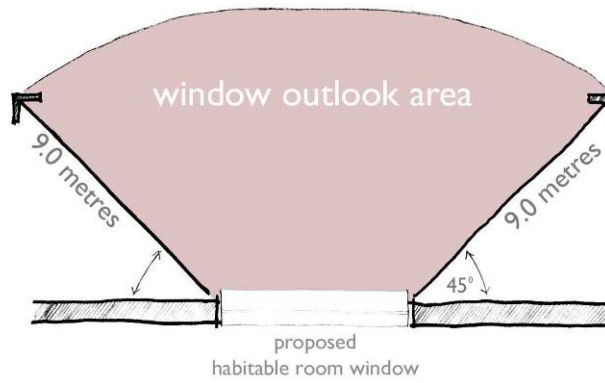


- (1) aquaculture;
- (2) food handling or processing of an industrial nature;
- (3) stock handling or slaughtering;
- (4) pig production;
- (5) fruit production;
- (6) turf production; or
- (7) the keeping or protection of wildlife outside enclosures.

*“Wildlife-attracting use type C”* means a use involving one or more of the following activities—

- (1) the keeping, handling or racing of horses; or
- (2) commercial outdoor dining, food handling or food consumption.

*“Window outlook area”* means the area within 9.0 metres of a habitable room window reaching in an arc of 45° either side of such window, as illustrated on the following figure:



*“Zone”* means an identified geographical area that is based on land use allocations (see section 1.5).

