

**BUNDABERG REGIONAL COUNCIL
CHANGE APPLICATION – MINOR CHANGE DECISION UNDER
DELEGATED AUTHORITY**

APPLICATION NO.	526.2018.68.1
PROPOSAL	Change Application for Minor Change - General Business
APPLICANT	Janam Pty Ltd
OWNER	Janam Pty Ltd
PROPERTY DESCRIPTION	Lot: 900 SP: 261837
ADDRESS	106 FE Walker Street KEPNOCK
PLANNING SCHEME	Bundaberg Regional Council Planning Scheme 2015
ZONING	District Centre Zone
OVERLAYS	Acid sulfate soils, Airport and aviation facilities, Flood hazard, Infrastructure, Steep Land
ORIGINAL APPLICATION NO.	322.2016.45820.1
DATE OF ORIGINAL DECISION	2 November 2016
DATE CHANGE APPLICATION RECEIVED	13 August 2018
PROPERLY MADE DATE	1 November 2018
STATUS	The 20 business day decision period ends on 29 November 2018
REFERRAL AGENCIES	Department of State Development, Manufacturing, Infrastructure and Planning
SITE INSPECTION CONDUCTED	23 August 2018
LEVEL OF DELEGATION	Level 3

1. INTRODUCTION

1.1. Nature/Description of Requested Change/s

The Applicant submitted representations to Council relating to the following:

- Staging and a reduction in Gross floor area (GFA)
- Traffic and access
- Car parking numbers
- Service Station floor area
- Landscaping concept design and pedestrian movement
- Flood and stormwater management
- Hours of operation

These representations have resulted in a request to amend the following:

- Approved Plans
- Condition 7 (Building Design)
- Condition 14 (Development in stages)

Our Reference: 322.2016.45820.1
Contact Person: Erin Clark

- Condition 23 (Extent of Approved Use – Shopping Centre)
- Condition 24 (Extent of Approved Use – Shopping Centre)
- Condition 25 (Extent of Approved Use – Shopping Centre)
- Condition 26 (Extent of Approved Use – Service Station)
- Condition 30 (End of Trip facilities)
- Condition 36 (Hours of Operation)
- Condition 37 (Landscaping)
- Condition 41 (Noise)
- Condition 43 (Public Safety)
- Condition 48 (Stormwater)
- Condition 49 to Condition 52 inclusive (Roadworks, Access, Car Parking)
- Condition 55 to Condition 60 inclusive (Roadworks, Access, Car Parking)
- Condition 61 (Pedestrian)
- Condition 62 (Pedestrian)
- Condition 63 (Pedestrian)
- Condition 2 of PART 1B (Operational Works)
- Amended Infrastructure Charges Notice

It is also noted that additional representations were received by Council via email from the Applicant on 6 December 2018 relating to a number of further minor changes requested to conditions, including:

- Condition 17 (Easements)
- Condition 20 (Electricity, Street lighting and Telecommunications)
- Condition 75 (Water Sensitive Urban Design)

1.2. Site Description

The subject site - Lot 900 SP261837- is a 10.01 ha allotment with frontages to FE Walker Street (a State controlled road) to the north, Santalucia Boulevard (Council controlled road) to the east and Scherer Boulevard (Council controlled road) to the south, at Kepnock. The site falls from approximately RL23.0 metres AHD in the south eastern corner of the site to approximately RL10.0 metres AHD in the north-western corner, although levels appear as low as approximately RL8.0m AHD in the drainage channel that runs in a north easterly direction across the western portion of the land. The land is generally clear of any significant vegetation, having previously been used for the cultivation of sugar cane. There are some trees in proximity to the stormwater easement (Easement II), a number of which are proposed to be removed, and some smaller shrubs around the one storey dwelling house which is located in the north eastern corner of the site and is intended to be demolished. A number of easements (other than the previously mentioned Easement II) traverse the lot, including Easement E, which runs along a portion of the southern boundary of the site and is for sewerage purposes. An earth mound is present in the south eastern corner of the

allotment, obscuring an amount of the subject site from view from Scherer Boulevard, given its height (at its highest point) of approximately 3.7 metres.

The site adjoins a park to the west (15 SP179035), which separates the subject land from the Kepnock State High School, residences in Glen Court and additional parkland that provides a further buffer to houses in Pizzey and FE Walker Streets. To the south, the land adjoins residential lots that are part of a 24 lot subdivision registered on 2 September 2013, and houses have been constructed in this area, centred on Yates Court and Conquest Court. Fencing has been established to the rear boundary of lots accommodating houses, that is predominantly 1.8 metre high timber fencing. The eastern portion of the southern boundary has a frontage to Scherer Boulevard. A residence and two duplexes address the southern side of the road reserve, with further residences present in this direction to Liddell Court and Scherer Boulevard.

To the north of the site, across FE Walker Street, land has a predominately non-urban character and is included in the Open Space and Low Density Residential zones, with Baldwin Swamp further to the north. Lot 1 SP172085 adjoins the subject lot to the east and is the subject of a Ministerial approval (325.2013.38669) for Reconfiguring a lot- One lot into two lots and access easements, and Commercial Use, which has commenced site works. This approval was intended to facilitate the establishment of a Masters Home Improvement Store in the north eastern corner of the site, making use of the existing access road off Greathead Road utilised by the Kepnock Aldi Supermarket.

The subject land forms part of a broader growth area in the eastern part of Bundaberg City, which has a total area of over 800 hectares, and which has the potential to provide housing for more than 12,000 people (approx. 5000 dwellings) over the next 20+ years.

2. ASSESSMENT PROVISIONS

2.1. Assessment Benchmarks

The following are the benchmarks applying for this development:

Benchmarks applying for the development	Benchmark reference
Zone Code: District Centre Zone	Bundaberg Regional Council Planning Scheme 2015
Overlay Code <ul style="list-style-type: none"> • Acid sulfate soils overlay code • Airport and aviation facilities overlay code • Flood hazard overlay code • Infrastructure overlay code • Steep land (slopes > 15%) overlay code 	Bundaberg Regional Council Planning Scheme 2015
Use Code <ul style="list-style-type: none"> • Business uses code • Child care centre code • Community activities code • Service station code 	Bundaberg Regional Council Planning Scheme 2015

Benchmarks applying for the development	Benchmark reference
Other Development Code <ul style="list-style-type: none"> • Advertising devices code • Landscaping code • Nuisance code • Transport and parking code • Works, services and infrastructure code 	Bundaberg Regional Council Planning Scheme 2015
Planning Scheme Policies <ul style="list-style-type: none"> • Planning scheme policy for development works • Planning scheme policy for waste management 	Bundaberg Regional Council Planning Scheme 2015
<ul style="list-style-type: none"> • Interim Development Assessment Requirements 	State Planning Policy

3. ISSUES RELEVANT TO THE APPLICATION

The following significant issues have been identified in the assessment of the application:

Consistency with the current planning policy

In accordance with section 81 of the *Planning Act* 2016, when assessing a minor change application, the responsible entity must consider a number of factors, including all matters that the responsible entity would or may assess against or have regard to, if the change application were a development application, including the matters that applied when the development application was made and the matters that applied when the change was made. In this regard, the proposed development is considered to comply, or can be conditioned to comply with the contemporary policy which was in effect when the original approval was given in November 2016.

Staging and master plan changes

A predominant part of this change application was to facilitate the modification of the shopping centre building from an elevated concrete structure with undercroft parking and significant difference in grades, to an at grade proposal with no undercroft area. These amended plans (and associated supporting documents) significantly reduced the GFA of the approved development and required a large number of conditions to be amended to reflect the updated plan references and the minor modification in staging. The nature of the staging changes were to allow for the sub staging of Stage 2, Stage 3 to become for the service station alone and the remainder of the Shopping centre building containing Supermarket 2 to become Stage 4. These changes do not affect the functionality or detail of the approved development and the recommended changes can be adequately incorporated.

In terms of built form changes, the Applicant's describes that the approved development had the appearance of a modern retail convenience centre, with a built form close to the FE Walker Street frontage and surface car parking which addresses the new Santalucia Boulevard frontage. This built form is considered to be maintained as approved within a smaller building footprint, with basement car parking also removed, however presenting to the same orientation to the streetscapes. It is considered that the reduced development scale and bulk (now presenting at grade) does not result in a dramatic change to the appearance (or function) of the development as it continues to appear and operate as a retail

convenience centre with enhanced building design features orientated to Santalucia Boulevard. Associated landscape features have been considered further in a later section of this report.

Service Station floor area

The revised Shopping Centre Master Plan provides for the proposed Service Station to be constructed as part of Stage 3, rather than previously approved Stage 2. Within this minor change application, the Applicant also seeks to increase the size of the service station from 80sqm to 142sqm in GFA. The reasoning provided includes to accommodate a modern service station with associated convenience retail offering alongside the service station facilities commensurate to the expected standard. Therefore it is sought that Condition 26 be amended to allow for this. Council officers would note that the intended use, function and servicing requirements will not be impacted. Likewise, the proposed changed built form is not dramatically different, therefore it is considered appropriate as the combination of convenience retail and service station uses has become common practice across Queensland and the proposed change is recommended for support. The infrastructure charging can be updated to reflect the changes accordingly.

Hours of operation

The applicant has requested the amendment to the wording of Condition 36 to allow for the hours of operation condition which currently states 8am to 5pm on Saturday (unless allowable under legislation) to state to be open 8am to 6pm on Saturday (unless allowable under legislation) given this timing is allowable under existing legislation and is consistent with the trading hours of existing supermarkets stores within Bundaberg. This requested change is considered appropriate for clarification purposes and consistent with the intent of the original condition (under allowable legislation). This minor increase was demonstrated by a supporting revision of the submitted acoustic report, stating there would be no increase in severity of any noise impacts during trading hours.

In addition, clarification as an advice note was sought from the Applicant in relation to the current condition permitting the centre to function as any existing shopping centre under the existing legislation, which would allow 24 hour non-trading/customer operation for servicing activities and other non-customer functions including but not limited to administration, cleaning, training or restocking shelves etc. A note has been included on the bottom of condition 36 to this effect for clarity as requested.

Given that the amendments requested are already allowable under the legislation included in the condition, this amendment to the condition is unlikely to increase the severity of known impacts or introduce further impacts to adjoining sensitive receivers as the servicing and activities of non-customer functions does not require an excessive number of people onsite during non-operational hours.

Traffic and access

The extension of Santalucia Boulevard across to Walker Street will be constructed to a trafficable standard with the first stage of the development. The portion that abuts the building and carpark associated with the first stage will be fully constructed including pedestrians and landscaping work. The portion that extends beyond the 'first stage proper' and through later stages will be partially constructed so that cars can follow the final

alignment of Santalucia Boulevard but kerb drainage and asphalt surfacing will be added at later appropriate stages.

The connection to FE Walker Street will be completed with the first stage in accordance with the requirements of the concurrence agency and it is considered that the amended drawings address various conditions that were applied to the original approval. To the extent these conditions have been met by the amended plans, the original conditions have been amended or deleted whilst maintaining the intent of a minor change.

Car parking numbers

As mentioned above, the amended proposal plans included a reduction in floor area for the shopping centre overall, therefore the revised master plan reduces the total number of car parking spaces from 883 spaces plus service vehicles to 608 plus service vehicles. Despite this overall decrease (predominantly due to the removal of the undercroft parking area), the overall rate at which car parking is provided has increased to an average overall rate of 1 space per 18.87sqm of GFA, which was previously 1 space per 20sqm. Given this is an improvement on the approved car parking rates, it is considered an acceptable change to the approval and the requested changes to conditions have been incorporated, including a defined number for persons with a disability.

Landscaping concept design and pedestrian movement

As described within the applicant's submitted material, the Minor Change maintains the originally approved central Landscape Boulevard through the car park and makes logical amendments to the configuration of other pedestrian movement paths as shown on the approved Master Plan as reflected by the changes shown on the amended Master Plan A100 Issue F. A number of conditions have been amended accordingly to reference the amended layout plans and the enhanced landscape concept.

In summary, the timing for the provision of the central landscaped pedestrian link throughout the carpark is brought forward to Stage 1 of the development whilst maintaining the construction of the pedestrian connection through to the balance land to Scherer Boulevard which is proposed for delivery in Stage 4. Embellishments to the pedestrian environment will continue to meet the planning policy requirements and delineating the route as the key link through the car park for increased pedestrian traffic, including an additional pedestrian access link to be provided at the final stage connecting the outdoor recreation area of the centre to Santalucia Boulevard, including the bus stop. Gradient and access issues previously included in the development approval conditions have been addressed by the new design and feature ground cover planting along the entire length of the landscape boulevard and at the northern and southern ends of each bank of carparks have been introduced to allow for better guidance of traffic.

Council officers would agree with the Applicant's representations relating to the retention of the landscaped link through the car park (Stage 1) and the balance land (Stage 4) to Scherer Boulevard ensures an integral component of the operation of the development is retained, in reference to item 4(e) of Schedule 1, specifically the connectivity that is provided to the associated catchment and adjoining residential community. The retention of the landscaped

pedestrian link within the development also ensures critical urban design, connectivity, amenity and landscaping components of the original approval are supported and enhanced.

The amended proposal design as shown on the amended Master Plan also provides improved pedestrian movements and enhances pedestrian connection to the western frontage of the shopping centre further improving on the originally approved design. The amended proposal now incorporates the construction of the central pedestrian access stair and outdoor dining plaza interfacing with the western arm of Santalucia Boulevard within stage 1 of the development, as well as a second pedestrian connection point from the west on the southern end of Specialty 1. The amendment allows for a stronger and more direct pedestrian connection to the western end of the shopping centre from Santalucia Boulevard and FE Walker Street to be delivered as part of Stage 1 of the development.

Flood and stormwater management

There are four independent catchments that contribute runoff to the proposed development site. These catchments discharge to four existing culverts under Walker Street. The stormwater management plan prepared for the original application attempts to optimise this flow regime to create additional capacity in the well-defined flow paths to account for the changes in runoff characteristics that occur as a result of the proposed development. The contributing catchments combine at the downstream end due to the damming effect the culverts have under Walker Street which has been incorporated in the stormwater management plan. This approach was accepted in the original approval with specific conditions to address apparent shortfalls in the proposal.

RMA's stormwater management plan submitted by the applicant to support the change application incorporated not only the changes in the development scope but also changes to address a number of the conditions of the original approval. More broadly, the planning policy on this subject has not changed since this original decision was made.

Considering that in principle, the existing flow regime continues to be consistent with the proposed flow regime and the developer has acknowledged the model behind this consistent approach will be submitted for review and approval prior to finalising detailed design for the pending Operational work, it is reasonable to delete/ amend the noted conditions as they have been incorporated into the current stormwater management plan.

Any doubt as to the validity of deleting conditions that were applied to the original approval based on potential model shortfalls are to be addressed at the Operational works stage in accordance with the requirements of the redrafted condition 48 and new condition 48A as the option to raise similar queries about the new model will be available under this condition which requires the submission of the relevant amended 2D XP SWMM model.

From the above, it is reasonable to accept the minor change application, for the purpose of flood and stormwater management can meet the requirements under Schedule 1 of the *Development Assessment Rules*. In this instance, the relevant criteria that warrant particular scrutiny include:

- (g) introduces new impacts or increase the severity of known impacts; or
- (i) impacts on infrastructure provisions.

For the purpose of flood management, the changes to the finished surface have been included in a new flood assessment prepared by RMA which is intended to supersede the originally approved flood assessment and the new flood assessment is more rigorous, addressing the potential impacts demonstrated within the modelling or conditioned to do so at the Operational works stage.

Infrastructure Charges

An amended Infrastructure charges notices is to be levied in accordance with the current policy to incorporate the changed floor areas and timing for the approved development.

Advertising Device

The proposed minor change application also includes a modification to the proposal plans in terms of the location of the Approved pylon sign for the shopping centre use. This sign was originally approved on the entry to the centre from the new Santalucia Boulevard (western side of the building, but eastern of the new road). The amended plans depict this pylon sign closer to FE Walker Street on the western side of the new road. It is considered that this amended location also complies with the relevant provisions of the Advertising devices codes and commensurate with the type of advertising expected for a shopping centre use. The relevant conditions have remained in an amended form relating to the size and height, with the requirement for a redesign of the sign removed given this has occurred. It is also noted that a new condition has been recommended which relates to the potential impact of the advertising device on any flood hydrology model or stormwater flows. The condition notes that if upon the lodgement of the first Operational Works application, an impact is demonstrated, the sign must be relocated to a position on the site where no flooding impacts are likely.

Minor change

In accordance with the definition of a 'minor change' in the *Planning Act 2016*, it is considered that the proposed changes may be considered in the regard as the changes will not:

- (a) Result in a substantially different development;
- (b) If the application, including the change, were made when the change is made, cause:
 - i. The inclusion of prohibited development in the application, or
 - ii. Referral to a referral agency, other than the chief executive, if there were no referral agencies for the development application; or
 - iii. Referral to extra referral agencies, other than the chief executive; or
 - iv. A referral to assess the application against, or have regard to, matters prescribed by regulation under section 55(2), other than those matters the agency must have assessed; or
 - v. Public notification if public notification was not required for the development application

When considering the 'substantially different' concept, Schedule 1 of the DA Rules is referenced, specifically the proposed change will not:

- (a) Involve a new use; or
- (b) Impact on infrastructure provision; or
- (c) Result in additional parcels or uses included in the development; or

- (d) Dramatically change the built form in terms of scale, bulk and appearance; or
- (e) Remove a component that is integral to the operation of the development; or
- (f) Change the ability of the proposal to operate as intended.
- (g) Significantly impact upon traffic and the transport network, such as increasing traffic to the site; or
- (h) Introduce new impacts or increase severity of known impacts; or
- (i) Impact upon infrastructure provisions.

Among other items discussed in earlier sections of this report, the original application was Code Assessable and did not attract submissions. The proposed change does not alter the level of assessment and would be unlikely to cause a person to make a properly made submission objecting to the proposed changes, if the circumstances allowed. Further, the proposed minor change does not trigger any of the matters above and is able to be considered as a minor change.

Compliance with Benchmarks

The original application was approved under the provision of the *Sustainable Planning Act* 2009. This change application is considered to comply with the requirements of section 81 of the *Planning Act* 2016 for assessing and deciding a minor change. The same assessment benchmark matters applied when the change was made as those when the development application was made. The previous benchmarks conflicts have been reflected accordingly.

Benchmark reference	Reasons for the approval despite non-compliance with benchmark
<p>The proposed development conflicts with PO16(b) of the District Centre Zone Code in the provision of two (2) full line supermarkets.</p>	<p>The sufficient grounds relied upon to approve a second full-line supermarket are:</p> <ol style="list-style-type: none"> 1. an additional supermarket satisfies a town planning and community need for the provision of convenience retail facilities for the residents of the identified primary trade area; 2. the land's zoning for a District Centre makes it the ideal location to serve the town planning and community need identified and this can be achieved without unacceptable amenity impacts; 3. the development will improve the wellbeing of the community by the provision of an increased food retail offer; 4. the additional supermarket will expand the limited choice of food retail offers within the primary trade area; 5. the additional supermarket will enhance competition in the area and will provide additional convenience to residents; 6. the provisions of PO16(b) of the District Centre Zone Code fail to take into account that the population of the primary trade area is sufficient soon to provide a second full-line

	<p>supermarket to serve the daily and weekly shopping needs of the community;</p> <p>7. a second full-line supermarket will not jeopardise the existing and planned hierarchy of centres nor the economic viability of existing or proposed centres.</p>
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4. REFERRALS

4.1 Internal Referrals

Advice was received from the following internal departments:

Internal department	Referral Comments Received
Development Assessment - Engineering	14 December 2018
Health and Regulation	12 November 2018

Any significant issues raised in the referrals have been included in section 3 of this report.

4.2 Referral Agency

Not Applicable for a Minor change.

5. RECOMMENDATION

That the Change Application 526.2018.68.1 detailed below be decided as follows:

1. Location details

Street address: 106 FE Walker Street KEPNOCK

Real property description: Lot: 900 SP: 261837

Local government area: Bundaberg Regional Council

2. Details of Original Approval

Material Change of Use for Shopping Centre and Service Station and Operational Works for an Advertising Device

Date of Approval: 2 November 2016

Application Number: 322.2016.45820.1

3. Details of the proposed development

Development Permit for Change Application (Minor Change to Material Change of Use for Shopping Centre and Service Station and Operational Works for an Advertising Device)

4. Decision for change application

Decision details: The Bundaberg Regional Council has decided to:
Make the change and amend existing conditions. Please refer to Schedule 1.

The changes agreed to are:

1. Amend Condition 7 (Building Design)
2. Amend Condition 14 (Development in stages)
3. Amend Condition 17 (Easements)
4. Amend Condition 20 (Electricity, Street lighting and Telecommunications)
5. Amend Condition 23 (Extent of Approved Use – Shopping Centre)
6. Amend Condition 24 (Extent of Approved Use – Shopping Centre)
7. Amend Condition 25 (Extent of Approved Use – Shopping Centre)
8. Amend Condition 26 (Extent of Approved Use – Service Station)
9. Amend Condition 30 (End of Trip facilities)
10. Amend Condition 36 (Hours of Operation)
11. Amend Condition 37, 37o, p, q, s, t, u, w, x, aa, ab, ac (Landscaping)
12. Delete Condition 37s, y (Landscaping)
13. New Condition 37ad, ae (Landscaping)
14. Amend Condition 38 (Landscaping)
15. Amend Condition 41 (Noise)
16. Amend Condition 43 (Public Safety)
17. Amend Condition 48 (Stormwater)
18. New Condition 48A (Stormwater)
19. Amend Condition 49 (Roadworks, Access, Car parking)
20. Amend Condition 50 (Roadworks, Access, Car parking)
21. Delete Condition 52 (Roadworks, Access, Car parking)
22. Delete Condition 55 (Roadworks, Access, Car parking)
23. Amend Condition 56 (Roadworks, Access, Car parking)
24. Delete Condition 57 (Roadworks, Access, Car parking)
25. Delete Condition 58 (Roadworks, Access, Car parking)
26. Amend Condition 59 (Roadworks, Access, Car parking)
27. Delete Condition 60 (Roadworks, Access, Car parking)
28. Amend Condition 61 (Pedestrian)
29. Amend Condition 62 (Pedestrian)
30. Amend Condition 63 (Pedestrian)
31. Amend Condition 75 (Water Sensitive Urban Design)

- 32. Amend Condition 2 (PART B – Advertising Device)
- 33. New Condition 11 (PART B – Advertising Device)

5. Rights of appeal

The rights of applicants to appeal to a tribunal or the Planning and Environment Court against decisions about a development application are set out in chapter 6, part 1 of the *Planning Act 2016*. For particular applications, there may also be a right to make an application for a declaration by a tribunal (see chapter 6, part 2 of the *Planning Act 2016*).

A copy of the relevant appeal provisions are included in Schedule 2.

6. ENDORSEMENT

Report prepared by:

Name: Erin Clark (Principal Planner)

Date: 30 November 2018

Recommendation endorsed pursuant to the terms and conditions of the instrument of delegation.

Name: Stephen Johnston (Chief Executive Officer)

Signature:



Released under the
Right to Information Act 2009

SCHEDULE 1 – EXISTING APPROVAL INCORPORATING CHANGES

This Decision Notice includes change approved on 21 December 2018.
Changes are in ***bold italics***.

3 November 2016

Janam Pty Ltd
C/- John Farquhar
Planning Initiatives
PO BOX 1774
NEW FARM QLD 4005

Decision Notice Sustainable Planning Act 2009 s.335

Thank you for your Development Application for Material Change of Use for Shopping Centre and Service Station and Operational Works for an Advertising Device at 106 FE Walker Street, Kepnock; land described as Lot 900 on SP261837 lodged with Council on 27 May 2016. I wish to advise that Council determined the above Development Application on 2 November 2016. Details of the Council's decision are:

DESCRIPTION OF PROPOSAL

Material Change of Use for Shopping Centre and Service Station and Operational Works for an Advertising Device

DECISION

Approved in full subject to conditions

The conditions of this approval are set out in **Schedule 1**. These conditions are clearly identified to indicate whether the assessment manager or concurrence agency imposed them.

1. DETAILS OF APPROVAL

The following approvals are given:

	Sustainable Planning Regulation 2009, schedule 3 reference	Development Permit	Preliminary Approval
Making a material change of use assessable under the planning scheme, a temporary local planning instrument, a master plan or a preliminary approval to which section 242 applies		<input checked="" type="checkbox"/>	<input type="checkbox"/>

	Sustainable Planning Regulation 2009, schedule 3 reference	Development Permit	Preliminary Approval
Operational work assessable under the planning scheme, a temporary local planning instrument, a master plan or a preliminary approval to which section 242 applies		<input checked="" type="checkbox"/>	<input type="checkbox"/>

Deemed Approval

Section 331 of the *Sustainable Planning Act 2009* (SPA) is not applicable to this decision.

2. PRELIMINARY APPROVAL AFFECTING THE PLANNING SCHEME

Not Applicable.

3. OTHER NECESSARY DEVELOPMENT PERMITS AND/OR COMPLIANCE PERMITS

Listed below are other development permits and/or compliance permits that are necessary to allow the development to be carried out:

- All Building Work
- All Plumbing and Drainage Work
- All Operational Work (not approved under this Development Permit)

4. CODES FOR SELF ASSESSABLE DEVELOPMENT

The following codes must be complied with for self-assessable development related to the development approved.

The relevant codes identified in the:

- Bundaberg Regional Council Planning Scheme and Associated Planning Scheme Policies

5. DETAILS OF ANY COMPLIANCE ASSESSMENT REQUIRED FOR DOCUMENTS OR WORK IN RELATION TO THE DEVELOPMENT

Not Applicable

6. SUBMISSIONS

Not Applicable

7. CONFLICT WITH A RELEVANT INSTRUMENT AND REASONS FOR THE DECISION DESPITE THE CONFLICT

The assessment manager does consider that the assessment manager's decision conflicts with a relevant instrument.

Details of the conflict with the relevant instrument	Reason for the decision, including a statement about the sufficient grounds to justify the decision despite the conflict
<p>The proposed development conflicts with PO16(b) of the District Centre Zone Code in the provision of two (2) full line supermarkets.</p>	<p>The sufficient grounds relied upon to approve a second full-line supermarket are:</p> <ol style="list-style-type: none"> 1. an additional supermarket satisfies a town planning and community need for the provision of convenience retail facilities for the residents of the identified primary trade area; 2. the land's zoning for a District Centre makes it the ideal location to serve the town planning and community need identified and this can be achieved without unacceptable amenity impacts; 3. the development will improve the wellbeing of the community by the provision of an increased food retail offer; 4. the additional supermarket will expand the limited choice of food retail offers within the primary trade area; 5. the additional supermarket will enhance competition in the area and will provide additional convenience to residents; 6. the provisions of PO16(b) of the District Centre Zone Code fail to take into account that the population of the primary trade area is sufficient soon to provide a second full-line supermarket to serve the daily and weekly shopping needs of the community; 7. a second full-line supermarket will not jeopardise the existing and planned hierarchy of centres nor the economic viability of existing or proposed centres.

8. REFERRAL AGENCY

The referral agency for this application are:

For an application involving	Name of referral agency	Advice agency or concurrence agency	Address
<p>State-controlled Road Schedule 7, Table 3, Item 1 of SP Regulation <i>Making a material change of use of premises, other than an excluded material change of</i></p>	<p>Department of Infrastructure, Local Government and Planning</p>	<p>Concurrence Agency</p>	<p>State Assessment and Referral Agency (SARA) E: WBBSARA@dip.qld.gov.au P: PO Box 979 Bundaberg Qld 4670</p>

For an application involving	Name of referral agency	Advice agency or concurrence agency	Address
<p><i>use, if any part of the land—</i></p> <p><i>(a) is within 25m of a State-controlled road;</i> <i>or</i></p> <p><i>(b) is future State-controlled road;</i> <i>or</i></p> <p><i>(c) abuts a road that intersects with a State-controlled road within 100m of the land</i></p>			
<p>Development impacting on State transport</p> <p>Schedule 7, Table 3, Item 2 of SP Regulation</p> <p><i>An aspect of development identified in Schedule 9 that –</i></p> <p><i>(a) is for the purpose mentioned in Schedule 9, column 1; and</i></p> <p><i>(b) meets or exceeds the threshold...</i></p>	Department of Infrastructure, Local Government and Planning	Concurrence Agency	<p>State Assessment and Referral Agency (SARA)</p> <p>E: WBBSARA@dssip.qld.gov.au</p> <p>P: PO Box 979</p> <p>Bundaberg Qld 4670</p>

9. APPROVED PLANS

The approved plans and/or document/s for this development approval are listed in the following table:

Plan/Document number	Plan/Document name	Prepared By	Date
Master Plan	A100 Issue F	Alleanza Architecture	09.10.2018
Overall Site Plan	A102 Issue E	Alleanza Architecture	09.10.2018

Overall Development Staging Plan	A105 Issue C	Alleanza Architecture	09.10.2018
Overall Site Staging Plan	A106 Issue B	Alleanza Architecture	09.10.2018
Proposed Site Plan – Stage 1	A110 Issue C	Alleanza Architecture	09.10.2018
Proposed Site Plan – Stage 2	A111 Issue C	Alleanza Architecture	09.10.2018
Proposed Site Plan – Stage 3	A112 Issue C	Alleanza Architecture	09.10.2018
Proposed Site Plan – Stage 4	A113 Issue C	Alleanza Architecture	09.10.2018
Stage 1 and Stage 2B Elevations	A202 Issue A	Alleanza Architecture	01.08.2018
Stage 4 Elevations	A204 Issue A	Alleanza Architecture	01.08.2018
General Sections	A301 Issue B	Alleanza Architecture	26.09.2018
3D Views	A901 Issue A	Alleanza Architecture	01.08.2018
3D Views	A902 Issue A	Alleanza Architecture	01.08.2018
3D Views	A903 Issue A	Alleanza Architecture	01.08.2018
3D Views	A904 Issue B	Alleanza Architecture	26.09.2018
Landscape Concept Plan – Ground Level Plan – Sheet 1	SK002 Rev A	LAUD Ink	30.07.2018
Landscape Concept Plan – Ground Level Plan – Sheet 2	SK003 Rev A	LAUD Ink	30.07.2018
Landscape Concept Plan – Ground Level Plan – Sheet 3	SK004 Rev A	LAUD Ink	30.07.2018
Landscape Concept Plan – Sections – Sheet 1	SK010 Rev C	LAUD Ink	30.07.2018
Landscape Concept Plan – Sections – Sheet 2	SK011 Rev C	LAUD Ink	30.07.2018
Landscape Concept Plan – Sections – Sheet 3	SK012 Rev A	LAUD Ink	30.07.2018
Landscape Concept Plan – Elevations – Sheet 1	SK020 Rev A	LAUD Ink	30.07.2018
Landscape Concept Plan – Elevations – Sheet 2	SK021 Rev A	LAUD Ink	30.07.2018

Landscape Concept Plan – Elevations – Sheet 3	SK022 Rev A	LAUD Ink	30.07.2018
Landscape Concept Plan – Plant Schedule, Images and Notes	SK030 Rev A	LAUD Ink	30.07.2018

10. WHEN APPROVAL LAPSES IF DEVELOPMENT NOT STARTED

Pursuant to section 341 of the *Sustainable Planning Act 2009*, this approval will lapse four (4) years from the date that the approval takes effect unless the relevant period is extended pursuant to section 383.

11. REFUSAL DETAILS

Not Applicable

12. CONDITIONS ABOUT INFRASTRUCTURE

The following conditions about infrastructure have been imposed under Chapter 8 of the *Sustainable Planning Act 2009*:

Condition/s	Provision under which the Condition was imposed
19-22, 30-32, 45, 48-63, 73-75	Section 665 – Non-trunk Infrastructure
N/A	Section 646 – Identified Trunk Infrastructure
N/A	Section 647 – Other Trunk Infrastructure

13. APPEAL RIGHTS

Appeal Rights are set out in Schedule 2.

If you wish to discuss this matter further, please contact Erin Clark on the above telephone number.

Yours sincerely

Michael Ellery

Group Manager Development

SCHEDULE 1—Conditions and Advices

Part 1a—Conditions imposed by the assessment manager

Part 1b—Conditions imposed by the assessment manager – Operational Works

Part 1c —Advice Notes

Part 2—Concurrence agency conditions

SCHEDULE 2—SPA extract on appeal rights

APPROVED PLANS

ADOPTED INFRASTRUCTURE CHARGES NOTICE



SCHEDULE 1 – Conditions and Advice

PART 1A – CONDITIONS IMPOSED BY THE ASSESSMENT MANAGER

General

1. Meet the full cost of all works and any other requirements associated with this development, unless specified in a particular condition.
2. Where there is any conflict between Conditions of this Decision Notice and details shown on the Approved Plans, the Conditions prevail.
3. Comply with all of the conditions of this Development Permit prior to the commencement of the use, unless otherwise stated within this notice, and maintain compliance whilst the use continues.

Acid Sulfate Soils Management

4. If at any time during the Operational Works or construction process, Acid Sulfate Soils are disturbed, the applicant must treat and if required, undertake the ongoing management of any disturbed Acid Sulfate Soils and drainage waters to the satisfaction of the Assessment Manager.

Air Conditioners

5. All air conditioning units or other mechanical equipment must be located at ground level, or otherwise fully enclosed or screened such that they are not visible from the adjoining street frontages or adjoining properties.
6. Air conditioning units must be designed, installed, maintained and operated so that noise emissions are within the limits imposed by the *Environmental Protection Act, Regulations and Policies*.

Building Design

7. Prior to approval of building works **for Stage 4** of the development, submit to and gain approval from Council for a revised northern elevation of the building incorporating materials, colours or façade treatments that will enhance the FE Walker Street frontage.

Note: Compliance with this condition may include the provision of decorative screens, artwork, inclusion of glazing or material variation.

8. Ensure that all materials and finishes selected are easily maintained and do not readily stain, discolour or deteriorate.

Construction Management

9. Unless otherwise approved in writing by the Assessment Manager, do not undertake building work in a way that makes audible noise:
 - a. On a business day or Saturday, before 6.30 am or after 6.30 pm; or
 - b. On any other day, at any time.

10. Contain all litter, building waste and sediments on the building site by the use of a skip/s and any other reasonable means during construction to prevent release to neighbouring properties or roads.
11. Remove any spills of soil or other material from the road or gutter upon completion of each day's work, during construction. These material spills and accumulated sediment deposits must be managed in a way that minimises environmental harm and/or damage to public and private property.
12. A detailed construction management plan (CMP) is to be prepared and submitted to the Assessment Manager for endorsement in association with the Operational Works application of each stage of development, detailing the construction methodology and controls to be employed to manage potential off site impacts relating to noise, dust, or other emissions, sediment and erosion controls and other identified impacts to receiving environments external to the development site.
13. Comply with the approved construction management plan (CMP) during all construction phases of the development.

Development in Stages

14. Develop the site in accordance with the stages identified on the Approved Plans with Stage 1 to be developed prior **to Stages 2a, 2b, 3 and 4, and with Stage 2a to be developed prior to Stage 2b**. The Applicant must comply with each condition of this development approval as it relates to each stage, unless otherwise specifically stated in the condition.

Earthworks/Spoil/Stockpile

15. At the completion of the last stage of development, the site is to be left in a clean and tidy state with no stockpiles of any kind from earthworks, roadworks, drainage works, or alike, or construction waste to be left within the balance area. Further all disturbed areas must be topsoiled and grassed within a maximum period of 12 months.

Easements

16. Lodge for registration at the office of the Land Registry the following easement(s):
 - a. a stormwater drainage easement having a minimum width of five (5) metres or such greater width as determined in an application for Operational Works, whichever is the greater, to the benefit of Council that includes:
 - i. Q100 ARI stormwater overland flow paths traversing the site;
 - ii. any stormwater main existing or proposed to traverse the land;
 - b. a sewerage easement having a minimum width of three (3) metres to the benefit of Council that includes any sewerage main existing or proposed traversing the land located within the easement and a minimum of one (1) metre from the easement boundary.
17. All works must be kept clear of any **existing easements** on the subject land, unless agreed otherwise in writing by the Grantee. All costs associated with the modification, amendment or revision of existing easements will be at the Developer's expense.

18. Ensure that any easements and rights pertaining to the parcels of land associated with this approval are maintained unless otherwise stated on the Approved Plans or the conditions of this approval. Proof of the registration or surrender of any easements are to be submitted to the Assessment Manager at the time of the submission of a Plan of Subdivision for compliance assessment and signing.

Electricity, Street lighting and Telecommunications

19. Enter into an agreement with an approved electricity provider, to ensure that underground electricity will be available to the development site.
20. Padmount transformers must be located within the road reserve, unless otherwise agreed in writing by the Assessment Manager.
21. Street lighting to new roads, multi-modal pathways and intersections must be by way of provision of underground conduits and cables, poles and street lights. The design and provision of street lighting must be in accordance with *Australian Standard 1158:2005*. The applicable lighting category is V4 for all roadways.
22. Telecommunication conduits (ducts) and pits, including trenching and design, must be provided to service the development in accordance with 'Fibre-Ready' standards or the NBN Co Installing Pit and Conduit Infrastructure - Guidelines for Developers, to the satisfaction of the Assessment Manager.

Extent of Approved Use – Shopping Centre

23. The approved use Shopping Centre may incorporate any combination of the following uses where located within the approved building marked as "Shopping Centre" on plans numbered ***A100 Issue F dated 09.10.2018 and A102 Issue E dated 09.10.2018***:
 - a. Shop;
 - b. Bar;
 - c. Child care centre;
 - d. Community care centre;
 - e. Community use, where not for essential community infrastructure;
 - f. Educational establishment;
 - g. Food and drink outlet;
 - h. Garden Centre;
 - i. Health care services;
 - j. Indoor sport and recreation;
 - k. Service industry;
 - l. Two (2) Full-line Supermarkets in accordance with other relevant conditions;
 - m. Veterinary services; and
 - n. Other activities consistent with the use of the premises for a shopping complex as defined in the planning scheme, where approved in writing by the Manager Development Assessment.

This approval does not authorise the use of the site for activities including Theatre, Hotel, Nightclub entertainment facility and a Discount Department Store (as part of a Shopping Centre use) and these activities must not be carried out on the land unless they are the subject of subsequent development approvals.

24. The approved use of the second full line supermarket must not commence until 1 March 2021. Depending on stage construction, this relates to tenancies annotated **'Supermarket 1' and Supermarket 2' in Stages 1 and 4 respectively as shown on the Approved Plans A100 Issue dated 09.10.2018 and A113 Issue C dated 09.10.2018.**
25. The largest tenancies categorised as 'Major' located in **Stages 1 and 4 as shown on the Approved Plans A100 Issue F dated 09.10.2018 and A113 Issue C dated 09.10.2018**, must not be used for a Discount Department Store (Shop) use.

Extent of Approved Use – Service Station

26. At all times while the use continues, retail sale of goods must remain an ancillary component to the use. The maximum area used for the purpose of display and retail sale of goods must not exceed **142m²** gross floor area.

Fuel Pumps and Bulk Storage Tanks – Service Station

27. All fuel pumps and storage tanks must be located to comply with Australian Standard AS1940 "The storage and handling of flammable and combustible liquids".
28. All inlets to bulk fuel storage tanks must be located to ensure that fuel delivery trucks can stand wholly within the site while discharging their fuel.
29. Bulk fuel storage tanks are not to be situated closer than 8m to any road frontage.

End of Trip Facilities – Cycle Parking

30. Install and maintain **a total of 49 bicycle parking spaces in pro rata form in each stage as follows:**
 - a. **Stage 1 – 22 spaces;**
 - b. **Stage 2 – 4 spaces (cumulative 26);**
 - c. **Stage 3 – 2 spaces (cumulative 28);**
 - d. **Stage 4 – 21 (cumulative 49).**

At each stage, 50% of the bicycle parking spaces must be for staff and 50% for visitors. Customer cycle parking must be located in a visible area close to the entrance of each building.

31. Provide one (1) locker for every two (2) staff cycle parking spaces at convenient location/s within the shopping centre facility.
32. Provide informational and directional signage where necessary to direct cyclists to bicycle parking spaces and advise the public of their presence.

Existing Services and Structures

33. Demolish or remove the existing dwelling and associated outbuildings on existing Lot 900 on SP261837 upon commencement of the works for the first stage of development.

External Storage of Materials

34. Ensure goods, equipment, packaging material or machinery is not stored or left exposed outside the building so as to be visible from any public road or thoroughfare. Any storage on site is required to be screened from view from all roads and adjacent

properties and must be above levels of inundation from both flood and localised events.

Groundwater Bore

35. The groundwater bore within the subject land must be either decommissioned by a licensed water bore driller or be re-commissioned to the satisfaction of the Department of Natural Resources and Mines.

If the bore is re-commissioned such works must be integrated within the surrounding landscaping. Works associated with the bore are to be completed in association with Stage 1 of development.

Hours of Operation

36. Unless otherwise approved in writing by the Assessment Manager or allowable under the *Trading (Allowable Hours) Act 1990* or other legislation, the trading hours of the approved use are limited to:

- a. Monday to Friday – 6 am to 9 pm;
- b. Saturday – 8 am to **6 pm**;
- c. Sunday and public holidays – 9 am – 6 pm

Note: Non-trading activities directly related to the operation of the centre, including restocking shelves, administration, cleaning and the like, may occur outside of these hours. Any noise generated by non-trading activities such as rubbish removal or deliveries by heavy vehicle must comply the requirements of the Environmental Protection Act 1994.

Landscaping

37. A landscape plan must be submitted to and approved by the Assessment Manager (generally in accordance with the Landscape Concept Plan prepared by **LAUD Ink dated July 2018**), **as amended in terms of landscaping as shown on Alleanza Architecture (JDP) drawing 17311 A102 Issue E Overall Site Plan** prior to the commencement of the landscaping works for each stage. The plan must be generally in accordance with the Approved Plans, have regard to the conditions of this approval and include, but not be limited to, the following features:

- a. The area or areas set aside for landscaping;
- b. Location and name of existing trees;
- c. A plan and schedule of all proposed trees, shrubs and ground covers which identifies:
 - i. The location and sizes at planting and at maturity of all plants;
 - ii. The utilisation of native species which are tolerant of local environmental factors (the Plant Species List contained within Council's Landscaping Planning Scheme Policy is a guide to species selection; the botanical and common names of plants must be provided.). No exotic plants are to be specified;
- d. The location of all areas to be covered by turf or other surface material including pavement and surface treatment details;
- e. Measures to ensure that the planted trees will be retained and managed to allow growth of the trees to mature size;
- f. Specification of the root containment method to be used for trees adjoining footpaths or kerbing;
- g. Details of any landscaping structures;

- h. Details of cutting and filling and all retaining structures and fences and associated finishes;
- i. Contours or spot levels;
- j. Fence size and materials;
- k. Inclusion of a controlled underground or drip irrigation system. Any such system is to be fitted with an approved backflow water prevention device;
- l. Location of any drainage, sewerage and other underground services and any overhead power lines;
- m. Vegetated screening of any electrical transformers, bin storage areas and the like from the road frontage;
- n. Property boundary garden/landscape bed edge walls must be provided with sleeper or equivalent retaining walls to contain the garden material within the site. Such walls must be constructed to a height that is at or above the adjacent kerb or sealed car parking areas;
- o. Landscaping to the full length of the site's southern property boundary in association with the first Stage of development, with trees to be provided as detailed in **Ground Level Plan – Sheet 3 (notation 4) drawing no. SK004 Rev A and prepared by LAUD Ink dated July 2018;**
- p. Amendments to the landscape buffer to the north of Stage 1 to:
 - i. Include melaleucas in the inundation area identified as '7' **in the key of 'Landscape Concept Plan Ground Level plan – Sheet 1, drawing no. SK002 Rev A and prepared by LAUD Ink**, at a density that will result in a minimum of 50% of the Stage 1 elevation to FE Walker Street being screened by vegetation, upon maturity, **generally in accordance with Elevation – Sheet 1 (North Elevation) Plan, drawing no. SK020 Rev A prepared by LAUD Ink**. Trees must be placed either side of the pipe and provided with appropriate root barriers; or
 - ii. Identify landscaping **within and adjoining the Stormwater easement area provided generally in accordance with Landscape Concept Plan Section – Sheet 2 (Section C-C and D-D, drawing no. SK011 Rev C prepared by LAUD Ink**, including lower, middle and upper storey planting, with narrow and columnar trees at a density that will result in a minimum of 50% of the elevation to FE Walker Street being screened by vegetation, upon maturity;
- q. Replacement of trees with shrubs in the **zone within the inundation area where fragility is an issue;**
- r. The utilisation of tree and groundcover species in the entry median that are able to maintain their own compact habit;
- s. **Deleted.**
- t. Landscaping, in the form generally shown on the approved plans, to the buffer area to the north of **Stages 1 and 4** of the building, that will result in a minimum of 50% of the **Stage 4 (completed)** elevation to FE Walker Street being screened by vegetation, upon maturity;
- u. The location of all mounding associated with **Stage 4** landscaping to FE Walker Street being fully contained within the subject site;
- v. A maximum height of all mounding at 1.5 m.
- w. A minimum 2 m wide landscaping strip is provided along each street frontage and common property boundary of the approved service station use area (**Stage 3**).

- x. One (1) tree for each six (6) car parking spaces **generally in all locations shown on the Approved plans, excluding those areas under a shading device** (which are not to cover all car parking areas);
 - y. **Deleted.**
 - z. Show the extent of all shading devices on the site and provide sufficient complementary landscaping where they are utilised to ensure visual amenity and breaks in bulk and scale.
 - aa. Clear trunked canopy shade trees are to be provided to the full extent of the edges of the car park area for a width of 3m as shown on **plans SK002 Rev Dated July 2018 and SK003 Rev A dated July 2018 prepared by LAUD Ink.**
 - ab. The provision of **landscaping and feature planting to the public open space/ outdoor dining/ supermarket entry areas in Stage 1 and Stage 4 in accordance with SK002 Rev A dated July 2018 (annotated as '10') and SK003 Rev A dated July 2018 (annotated as '8') prepared by LAUD Ink** as a minimum.
 - ac. A landscaping strip, **to the Eastern elevation of the building/ boundary line of Stage 4 in the location generally shown on the approved plan 17311 A100 Issue F dated 09.10.2018 and plan SK003 Rev A dated July 2018, which will result in a minimum of 40% of the Eastern building** elevation to FE Walker Street being screened by vegetation, upon maturity.
 - ad. **Detail of landscaped pedestrian boulevard link through the centre of the development (within Stage 1) as shown on Approved Plan A100 Issue F dated 09.10.2018, including landscaping either side of the footpath, landscape features to the end of the car parking bays and upon entry to the shopping centre; and**
 - ae. **Inclusion of additional landscaped boulevard pedestrian entry shown in Stage 2A.**
38. Complete the landscaping shown on the endorsed plans for each stage prior to the commencement of the use for that stage and **unless otherwise agreed in writing by the Assessment manager**, maintain all landscape works in accordance with the Approved Plan whilst the use continues.

Lighting

39. External lighting used to illuminate the premises must be designed and provided in accordance with Australian Standard AS 4282-1997: *Control of the obtrusive effects of outdoor lighting* so as not to cause nuisance to residents or obstruct or distract pedestrian or vehicular traffic.

Loading/Unloading

40. Loading and unloading of all vehicles associated with the use must occur on the subject site. Loading and unloading is not to occur in the areas specified for taxis and set-downs.

Noise

41. Submit to the Assessment Manager an amended Environmental Noise Impact Assessment (**Report No: R18045/D3150/Rev.0/10.07.2018 – excluding use types and hours of operation detail and recommendations that are not in accordance with this approval**), prepared by a suitably qualified person, if during the final design stage or Operational Work application process, the specifics relating to numbers of

plant and equipment are modified to those specified in this version of assessment report. In the event that calculations show that an item of plant and/or equipment exceeds the noise limits specified in relevant legislation, noise control measures which provide adequate attenuation will be required to be detailed and approved by Council, prior to the issuance of a development permit for building works.

42. Where noise control measures are required, certification must be submitted to the Assessment Manager from a suitably qualified person prior to commencement of use, which certifies that the measures have been constructed in accordance with the approval required in condition 41 of this permit.

Public Safety

43. During operating hours, all parking areas, pedestrian areas and entrances/exits to all stairwells, travelators, lifts, foyers and public toilets must be well lit with vandal resistant lighting and with intensities to satisfy the requirements of Australian Standard AS1158 "Public Lighting Code". Lighting must be designed to reduce the contrast between shadows and well lit areas. In particular, appropriate security lighting must be provided in the location shown as tenancy loading and refuse area and services areas and the entry to the western side of the building in Stage 1 between ***the following on the Approved Plans which may have a recessed doorway, corridors and concealment place:***
 - a. ***Specialty 2, Amenities and Supermarket 1,***
 - b. ***Specialty 1 and Specialty 2,***
 - c. ***Specialty 4 and Specialty 5, and***
 - d. ***Specialty 6 and Amenities***
44. Ensure that appropriate surveillance of the loading area is provided to ensure that it is not a vulnerable place for public safety purposes.

Sewerage

45. At Stage 1, provide a new sewerage connection suitable to meet the requirements of the development. All live sewer work, including the point of connection, must be undertaken by Council.
46. All sewerage infrastructure must be clear of all proposed and existing buildings. Detailed design of the new sewerage infrastructure and its alignment must be determined at Stage 1 prior to the commencement of the detailed stormwater design and any subsequent works must be part of an application for Operational Works.
47. Except where perpendicular to or intersecting with a property boundary, a sewer main must not be situated closer than 1.5 metres to a property boundary, unless otherwise approved by the Assessment Manager.

Stormwater

48. ***Install a stormwater drainage system connecting to a lawful point of discharge. The works must be undertaken in accordance with an Operational Works approval and the Queensland Urban Drainage Manual and incorporate the works described in n the Stormwater Management Report by RMA Engineers dated 19 July 2018, Project Number 13342 Revision 1, as amended by the guidance provided in the flooding assessment letter prepared by RMA Engineers dated 4 October 2018, and modified to accommodate the 2D XP SWMM modelling outcomes required under condition 49.***

The works must also include the registration of a new or modified Easement Z on SP291197 (the "New Easement") to incorporate works and overland flow paths in that Easement;

Note: An Operational works development application will be required to be submitted to Assessment Manager for the stormwater works. As per the requirements of Code Assessable development, the application will be required to demonstrate compliance with the applicable assessment benchmarks.

- 48A. Submit to and have approved by the Assessment Manager as part of the operational works application for the development an amended 2D XP SWMM model that demonstrates to the Assessment Manager's satisfaction that the development will achieve the outcomes of the Stormwater Management Report by RMA Engineers dated 19 July 2018, Project Number 13342 Revision 1, as amended by the guidance provided in the flooding assessment letter prepared by RMA Engineers dated 4 October 2018. The model must also incorporate:**
- a. the requirements of section SC6.3.6 Stormwater of SC6.3 Planning Scheme Policy for Development Work**
 - b. Sufficient flood storage to ensure no worsening in a Burnett River flood event; and**
 - c. The final civil and building works designs for which approval is sought, including earthworks.**

Roadworks, Access, Car Parking

- 49. The road must be dedicated in accordance with Alleanza Architecture (JDP) drawing 17311 A102 Issue E Overall Site Plan, with a minimum reserve width of 20 metres (augmented to accommodate the bus set down area as necessary). Such new road reserve must also align with and be contiguous to the western road reserve of Santalucia Boulevard. Dedicate additional new road for the Santalucia Boulevard extension to ensure the approved pedestrian path and crossings along the extension of Santalucia Boulevard are contained inside the new road corridor clear of all telecommunication and electricity services.**
- 50. Construct new roads within the new road reserve generally as indicated on Alleanza Architecture (JDP) drawing 17311 A102 Issue E Overall Site Plan (the Plan) and to the following requirements:**
- a. All roadways must be sealed with asphaltic concrete;**
 - b. Provide concrete kerb and channelling on each side of all roadways to the relevant standard;**
 - c. The roadway must be constructed to a collector street standard, but with a pavement width of 11.1 metres;**
 - d. Right turn auxiliary lanes as listed on the Plan and the Stage 2 two-way access driveway, unless as listed in condition 58;**
 - e. Provision of a temporary bus stop area in Stage 1, with the permanent stop area pursuant to the requirements of Condition 51;**

- f. The pavement is to be designed in accordance with Austroads Pavement Design for Light Traffic: A supplement to Austroads Pavement Design Guide (AP-T36/06). The pavement specifics shall be determined at the Operational Works Stage; and
 - g. connect smoothly to and align with the existing section of Santalucia Boulevard.
51. Construction of the road required by Condition 50 may be staged in accordance with the approved staging plan. Where the entire road is not completed prior to commencement of the use of Stage 1 of the development, construct a partial roadway from the stage 1 boundary to the eastern boundary of the constructed portion of Santalucia Boulevard. The partial roadway section must be:
- a. Constructed to a minimum width of seven (7) metres;
 - b. Sealed with a prime and two (2) coat seal;
 - c. Line-marked with a centreline;
 - d. Provided with table drains to convey up to Q100 ARI, or such lesser standard as approved by the Assessment Manager; and
 - e. Designed in accordance with Austroads Pavement Design for Light Traffic: A supplement to Austroads Pavement Design Guide (AP-T36/06). The pavement specifics shall be determined at the Operational Works Stage.

The partial road must be replaced by the full constructed road required by condition 50 prior to the commencement **of the use of the second stage of development undertaken** or 5 years after commencement of use of Stage 1, whichever is the earlier.

52. **Deleted.**
53. Sealed impervious surface treatments are to be provided to the approved service station use area.
54. Reinforced industrial crossovers are constructed to the approved service station area to provide suitable access for fuel delivery vehicles.
55. **Deleted.**
56. **Loading areas must be in accordance with Alleanza Architecture (JDP) drawing 17311 A102 Issue E Overall Site Plan & Cambray Consulting Traffic Impact Assessment dated 6 August 2018.**
57. **Deleted.**
58. **Deleted.**
59. Provide off-street car parking and vehicle manoeuvring area for a total of **608** car parks (**inclusive of 13 pwd spaces and 2 taxi spaces**) and associated loading bays generally in accordance with **Alleanza Architecture (JDP) drawing 17311 A102 Issue E Overall Site Plan & Cambray Consulting Traffic Impact Assessment dated 6 August 2018**. Such car parking, access and manoeuvring areas must be:-
- a. Constructed and sealed with bitumen, asphalt, concrete or approved pavers;
 - b. Line-marked into parking bays;

- d. Designed to include the provision of fill and/or boundary retaining walls to allow for the containment and management of site stormwater drainage as required;
- e. **Deleted.** ;
- f. Drained to the relevant site discharge point;
- g. Be available free-of-charge to staff and customers during operating hours;
- h. **Deleted** ; and
- i. Designed in accordance with AS/NZS2890.1-2004: 'Parking Facilities Part 1: Off-street Car Parking'.

60. **Deleted.**

Pedestrian

61. Pedestrian facilities are to be provided generally in accordance with ***Alleanza Architecture Masterplan 17311 A100 Issue F dated 09.10.2018 and any associated landscaping and design features required.***

For works within the road reserve, those works must be undertaken in accordance with an Operational Works approval and must include a 1.5 metre (minimum) concrete ribbon pathway and pram ramps. Such paths must be generally in accordance with Council's drawing 13977 except for the temporary connection between Stages 1 and the eastern pedestrian path in Santalucia Boulevard, which may be cracker dust or equivalent.

62. As part of **Stage 4** of the development construct a 2.0 metre wide concrete ribbon footpath and associated pram ramps providing a pedestrian and bicycle link between Scherer Boulevard and the shopping centre development (the "Scherer Boulevard Pedestrian Access") as depicted on approved plan - ***Alleanza Architecture Overall Site Plan 17311 A102 Issue E dated 09.10.2018.*** .

63. As part of **Stage 4** of the development dedicate an easement for public pedestrian and cycle access sufficient to contain the new pathway as in condition 62.

Vegetation Clearing

64. Restrict vegetation removal to the trees identified on the Approved Plans.

65. Inspect the tree prior to clearing for the presence of nesting birds, koalas and other fauna, including habitat hollows. No clearing of trees which may disturb nesting birds is permitted until the birds have fledged and left the nest. Removal of trees with koalas and other fauna must be carried out under the supervision of a Department of Environment and Heritage Protection registered fauna management spotter-catcher who will be responsible for dealing with native fauna present as required under the *Queensland Nature Conservation Act 1992*.

66. Chip, mulch or dispose of cleared vegetation at a Council approved green waste disposal facility or salvage timber for reuse. No burning of cleared material is permitted unless otherwise approved in writing by the Assessment Manager.

Waste Management

67. Provide a sufficient area for the storage of all waste bins. This area must be sealed, screen fenced and designed so as to prevent the release of contaminants to the environment.

68. Maintain and operate an adequate waste disposal service, including the maintenance of refuse bins and associated storage areas so as not to cause any nuisance, to the satisfaction of the Assessment Manager.
69. An impervious bin storage area (Bin Enclosure) for waste receptacles, must be provided in accordance with the following:-
 - a. the bin storage area must be sufficient to accommodate all refuse containers required by the Assessment Manager for the scale of the development;
 - b. the bin storage area must be aesthetically screened from the road frontage and adjoining properties by landscaping or constructed screening;
 - c. a suitable hose cock (with backflow prevention) and hoses must be provided at the refuse container area, and wash down to be drained to sewer and fitted with an approved stormwater diversion valve arrangement.
70. The bin storage enclosure must be maintained in a clean and sanitary manner at all times.
71. Ensure that any potential food / waste sources are covered and collected so that they are not accessible to wildlife.
72. The collection, treatment and disposal of solid and liquid wastes from the approved service station use must:
 - a. Not result in off-site releases of contaminants; and
 - b. Implement measures to minimise waste generation and to maximise recycling.

Water

73. Provide reticulated water supply, hydrants, fittings and fixtures to each stage prior to the commencement of use of that stage. Also undertake network modelling to determine main sizing for all stages in association with the first Operational Works approval. Such modelling must include all necessary upgrades of Council infrastructure to ensure that downstream properties are not adversely affected by the increased demand of the proposed development.
74. Provide a metered service, and internal infrastructure as required, satisfying the fire-fighting and water supply demands of the development.

Water Sensitive Urban Design

75. The drainage system for the development must incorporate Stormwater Quality Improvements in accordance with the State Planning Policy July 2014, the Bundaberg Regional Council Stormwater Management Strategies and generally as set out in the Opus Site Based Stormwater Management Report (revision H). A Site Based Stormwater Management Plan and Erosion and Sediment Control Management Plan, inclusive of long term maintenance measures, must be submitted as part of an application for Operational Works.

PART 1B – CONDITIONS IMPOSED BY THE ASSESSMENT MANAGER- OPERATIONAL WORKS

1. This approval authorises the following signs as defined by the planning scheme and shown on the Approved Plans:
 - a. One (1) pylon sign.
2. **The overall height must not exceed 13 metres and the overall width does not exceed 4.8 metres.**
3. Position the sign wholly within the property boundaries of the subject site.
4. All construction and maintenance work for the sign must be carried out completely within the property boundaries.
5. The sign must be maintained to a standard satisfactory to the Assessment Manager. Any structural damage must be made safe and repaired as soon as practical.
6. Lighting used to illuminate the approved sign must:
 - a. be designed and provided in accordance with Australian Standard AS 4282-1997: *Control of the obtrusive effects of outdoor lighting* so as not to cause nuisance to residents or obstruct or distract pedestrian or vehicular traffic;
 - b. Be switched off between the hours of 11.00pm and 5.00am or at any time the business is not operating between these hours; except where the shopping centre is operating outside of these hours.
7. The sign must not include any flashing or moving lights.
8. The sign must be static and contain no moving elements.
9. All conduits, wiring, switches or other electrical apparatus installed on an advertising device must be concealed from general view.
10. No electrical equipment is mounted on exposed surfaces of the advertising device.
11. **The location of the approved sign must not impact upon the hydrology and stormwater management of the site. If upon the lodgement of the first Operational Works application, an impact is demonstrated, the sign must be relocated to a position on the site where no flooding impacts are likely.**

PART 1C – ADVICE NOTES

Environmental Harm

- A. The *Environmental Protection Act 1994* states that a person must not carry out any activity that causes, or is likely to cause, environmental harm unless the person takes all reasonable and practicable measures to prevent or minimise the harm. Environmental harm includes environmental nuisance.

In this regard persons and entities, involved in the civil, earthworks, construction and operational phases of this development, are to adhere to their 'general environmental duty' to minimise the risk of causing environmental harm. Environmental harm is defined by the Act as any adverse effect, or potential adverse effect whether temporary or permanent and of whatever magnitude, duration or frequency on an environmental value and includes environmental nuisance. Therefore, no person should cause any interference with the environment or amenity of the area by reason

of the emission of noise, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit, sediment, oil or otherwise, or cause hazards likely in the opinion of the administering authority to cause undue disturbance or annoyance to persons or affect property not connected with the use.

Infrastructure Charges Notice

- B. Please find attached the Infrastructure Charges Notice (Ref No: 331.2016.837.1) applicable to the approved development.

Nature and Extent of Approved Development

- C. This Decision Notice does not represent an approval to commence Building Works.

Food Handling/Restaurants

- D. All operators of the approved use will be required to comply with the *Food Act 2006* and Council's minimum requirements for food premises. All necessary approvals should be obtained from the Environmental Health Services Section of Council prior to commencement of the approved use. For further information about these requirements please contact Council's Environmental Health Services Section on 1300 883 699.
- E. Should any of the replacement structures or equipment differ from the business's original approved plans, Council's Environmental Health Services Section must be notified to amend details concerning the license under the *Food Act 2006*. This will enable Council to maintain accurate records and ensure compliance. Copies of the original plans for the premises' food preparation areas can be obtained from Council. Plans detailing any proposed modifications should be provided to Council prior to construction. The operator is required to provide an expected completion date for any proposed work so that a pre-opening inspection can be arranged. For further information about these requirements please contact Council's Environmental Health Services Section on 1300 883 699.

Signage

- F. With the exception of a single (1) pylon sign at the entry to the development (proximate to FE Walker Street) an Operational Works permit is required to be obtained for all signs and advertising devices associated with the development that do not comply with the self-assessable criteria of the Planning Scheme in effect at the time of the proposed works.

PART 2—CONCURRENCE AGENCY CONDITIONS

The Department of Infrastructure, Local Government and Planning, by letter dated 4 August 2016 (copy letter attached for information).

BUNDABERG REGIONAL COUNCIL
CHANGE APPLICATION – MINOR CHANGE DECISION UNDER
DELEGATED AUTHORITY



SCHEDULE 2 – SPA Extract on Appeal Rights

Part 1 – APPEALS TO THE PLANNING AND ENVIRONMENT COURT

461 Appeals by applicants.

- (1) An applicant for a development application may appeal to the court against any of the following—
 - (a) the refusal, or the refusal in part, of the development application;
 - (b) any condition of a development approval, another matter stated in a development approval and the identification or inclusion of a code under section 242;
 - (c) the decision to give a preliminary approval when a development permit was applied for;
 - (d) the length of a period mentioned in section 341;
 - (e) a deemed refusal of the development application.
- (2) An appeal under subsection (1)(a), (b), (c) or (d) must be started within 20 business days (the applicant's appeal period) after—
 - (a) if a decision notice or negotiated decision notice is given—the day the decision notice or negotiated decision notice is given to the applicant; or
 - (b) otherwise—the day a decision notice was required to be given to the applicant.
- (3) An appeal under subsection (1)(e) may be started at any time after the last day a decision on the matter should have been made.

462 Appeals by submitters—general.

- (1) A submitter for a development application may appeal to the court only against—
 - (a) the part of the approval relating to the assessment manager's decision about any part of the application requiring impact assessment under section 314; or
 - (b) the part of the approval relating to the assessment manager's decision under section 327.
- (2) To the extent an appeal may be made under subsection (1), the appeal may be against 1 or more of the following—
 - (a) the giving of a development approval;
 - (b) any provision of the approval including—
 - (i) a condition of, or lack of condition for, the approval; or
 - (ii) the length of a period mentioned in section 341 for the approval.
- (3) However, a submitter may not appeal if the submitter—
 - (a) withdraws the submission before the application is decided; or
 - (b) has given the assessment manager a notice under section 339(1)(b)(ii).
- (4) The appeal must be started within 20 business days (the submitter's appeal period) after the decision notice or negotiated decision notice is given to the submitter.

463 Additional and extended appeal rights for submitters for particular development applications.

- (1) This section applies to a development application to which chapter 9, part 7 applies.
- (2) A submitter of a properly made submission for the application may appeal to the court about a referral agency's response made by a prescribed concurrence agency for the application.
- (3) However, the submitter may only appeal against a referral agency's response to the extent it relates to—

- (a) if the prescribed concurrence agency is the chief executive (environment)—development for an aquacultural ERA; or
- (b) if the prescribed concurrence agency is the chief executive (fisheries)—development that is—
 - (i) a material change of use of premises for aquaculture; or
 - (ii) operational work that is the removal, damage or destruction of a marine plant.
- (4) Despite section 462(1), the submitter may appeal against the following matters for the application even if the matters relate to code assessment—
 - (a) a decision about a matter mentioned in section 462(2) if it is a decision of the chief executive (fisheries);
 - (b) a referral agency's response mentioned in subsection (2).

464 Appeals by advice agency submitters.

- (1) Subsection (2) applies if an advice agency, in its response for an application, told the assessment manager to treat the response as a properly made submission.
- (2) The advice agency may, within the limits of its jurisdiction, appeal to the court about—
 - (a) any part of the approval relating to the assessment manager's decision about any part of the application requiring impact assessment under section 314; or
 - (b) any part of the approval relating to the assessment manager's decision under section 327.
- (3) The appeal must be started within 20 business days after the day the decision notice or negotiated decision notice is given to the advice agency as a submitter.
- (4) However, if the advice agency has given the assessment manager a notice under section 339(1)(b)(ii), the advice agency may not appeal the decision.

Part 2 – APPEALS TO THE BUILDING & DEVELOPMENT DISPUTE RESOLUTION COMMITTEE

S 519 Appeal by applicant—particular development application for material change of use of premises.

- (1) This section applies to a development application if the application is only for a material change of use of premises that involves the use of a prescribed building.
- (2) However, this section does not apply to the development application if any part of the application required impact assessment and any properly made submissions were received by the assessment manager for the application.
- (3) The applicant for the development application may appeal to a building and development committee against any of the following—
 - (a) the refusal, or the refusal in part, of the application;
 - (b) any condition of the development approval and another matter, other than the identification or inclusion of a code under section 242, stated in the development approval;
 - (c) the decision to give a preliminary approval when a development permit was applied for;
 - (d) the length of a period mentioned in section 341;
 - (e) a deemed refusal of the application.
- (4) An appeal under subsection (3)(a), (b), (c) or (d) must be started within 20 business days (the **applicant's appeal period**) after—
 - (a) if a decision notice or negotiated decision notice is given—the day the decision notice or negotiated decision notice is given to the applicant; or
 - (b) otherwise—the day a decision notice was required to be given to the applicant.
- (5) An appeal under subsection (3)(e) may be started at any time after the last day a decision on the matter should have been made.

522 Appeal by applicant—condition of particular development approval

- (1) This section applies to a development application if—
 - (a) the application is only for a material change of use that involves the use of a building classified under the BCA as a class 2 building; and

- (b) the proposed development is for premises of not more than 3 storeys; and
 - (c) the proposed development is for not more than 60 sole-occupancy units.
- (2) However, this section does not apply to the development application if any part of the application required impact assessment and any properly made submissions were received by the assessment manager for the application.
- (3) The applicant for the development application may appeal to a building and development committee against a condition of the development approval.
- (4) The appeal must be started within 20 business days (the **applicant's appeal period**) after—
- (a) if a decision notice or negotiated decision notice is given—the day the decision notice or negotiated decision notice is given to the applicant; or
 - (b) otherwise—the day a decision notice was required to be given to the applicant.
- (5) In this section—

sole-occupancy unit, in relation to a class 2 building, means a room or other part of the building used as a dwelling by a person to the exclusion of any other person.

storey means a space within a building between 2 floor levels, or a floor level and a ceiling or roof, other than—

- (a) a space containing only—
 - (i) a lift shaft, stairway or meter room; or
 - (ii) a bathroom, shower room, laundry, water closet or other sanitary compartment; or
 - (iii) accommodation for not more than 3 motor vehicles; or
 - (iv) a combination of any things mentioned in subparagraph (i), (ii) or (iii); or
- (b) a mezzanine.

Note:

Attached is a Rights of Appeal Waiver form. Please complete and return this form if you are satisfied with the approval and agree to the conditions contained therein and you wish to waive the 20 day appeal period available under the Sustainable Planning Act 2009.

Released under the
Right to Information Act 2009



Part 3 - RIGHTS OF APPEAL WAIVER

Mail To: Bundaberg Regional Council

Address: PO Box 3130
Bundaberg QLD 4670

Attention: Development Assessment

Re: Development Approval for Material Change of Use for Shopping Centre and Service Station and Operational Works for an Advertising Device

Property situated at 106 FE Walker Street, Kepnock; land described as Lot 900 on SP261837

Development Permit No: 322.2016.45820.1

This advice is to confirm that I/We have received the above approval and agree to the conditions contained therein. I/We hereby waiver My/Our appeal rights available under the *Sustainable Planning Act 2009*.

.....
Signature

.....
Date

.....
Signature

.....
Date

Released under the
Right to Information Act 2009



DRAWING LIST - ARCHITECTURAL				
Sheet Number	Sheet Name	Current Revision	Current Release Date	Current Release Description
A000	COVER SHEET	C	09.10.18	MINOR AMENDMENT ISSUE 1 - RFI AMENDMENTS
A100	MASTER PLAN	F	08.10.18	MINOR AMENDMENT ISSUE 1 - RFI AMENDMENTS
A102	OVERALL SITE PLAN	E	08.10.18	MINOR AMENDMENT ISSUE 1 - RFI AMENDMENTS
A105	OVERALL DEVELOPMENT STAGING PLAN	C	08.10.18	MINOR AMENDMENT ISSUE 1 - RFI AMENDMENTS
A108	OVERALL SITE STAGING PLAN	B	08.10.18	MINOR AMENDMENT ISSUE 1 - RFI AMENDMENTS
A110	PROPOSED SITE PLAN STAGE 1	C	08.10.18	MINOR AMENDMENT ISSUE 1 - RFI AMENDMENTS
A111	PROPOSED SITE PLAN STAGE 2	C	08.10.18	MINOR AMENDMENT ISSUE 1 - RFI AMENDMENTS
A112	PROPOSED SITE PLAN STAGE 3	C	08.10.18	MINOR AMENDMENT ISSUE 1 - RFI AMENDMENTS
A113	PROPOSED SITE PLAN STAGE 4	C	08.10.18	MINOR AMENDMENT ISSUE 1 - RFI AMENDMENTS
A202	STAGE 1 AND STAGE 2 ELEVATIONS	H	01.08.18	MINOR AMENDMENT ISSUE 1
A204	STAGE 4 ELEVATIONS	H	01.08.18	MINOR AMENDMENT ISSUE 1
A301	GENERAL SECTIONS	B	28.09.18	MINOR AMENDMENT ISSUE 1 - RFI AMENDMENTS
A301	3D VIEWS	A	01.08.18	MINOR AMENDMENT ISSUE 1
A302	3D VIEWS	A	01.08.18	MINOR AMENDMENT ISSUE 1
A303	3D VIEWS	H	01.08.18	MINOR AMENDMENT ISSUE 1
A304	3D VIEWS	B	28.09.18	MINOR AMENDMENT ISSUE 1 - RFI AMENDMENTS
A305	3D VIEWS	A	01.08.18	MINOR AMENDMENT ISSUE 1
A306	3D VIEWS	A	01.08.18	MINOR AMENDMENT ISSUE 1

MINOR AMENDMENT ISSUE 1 - RFI AMENDMENTS	GD	09.10.18	C
MINOR AMENDMENT ISSUE 1 - RFI AMENDMENTS	GD	28.09.18	B
MINOR AMENDMENT ISSUE 1	JP	01.08.18	A
subject	p.a	date	issue

architect
ALLEANZA
 ARCHITECTURE
 project
KEPNOCK TOWN CENTRE

address
 FE WALKER STREET

builder

client
JDP
 JANAH DEVELOPMENT PROJECTS

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COVER SHEET
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17311 project_no. A000 sheet_no. C issue

Released under the
 Right to Information Act 2009



TOTAL CENTRE CARS PROVIDED: 5.30 Cars/100m ² TUA		DEVELOPMENT SCHEDULE (TUA)		DEVELOPMENT SCHEDULE (GFA)	
STAGE	AREA	DEPARTMENT	AREA	DEPARTMENT	AREA
STAGE 1	5287m ²	STAGE 1	18m ²	STAGE 1	18m ²
CAR PARKS	273	LIQUORLAND	152m ²	LIQUORLAND	152m ²
RATIO	5.16 CARS/100m ²	SHARED AMENITY	0m ²	SHARED AMENITY	150m ²
STAGE 2	799m ²	SPECIALTY 1	453m ²	SPECIALTY 1	781m ²
CAR PARKS	89	SPECIALTY 2	453m ²	SPECIALTY 2	456m ²
RATIO	11.18 CARS/100m ²	SPECIALTY 3	374m ²	SPECIALTY 3	375m ²
STAGE 3	142m ²	SUPERMARKET 1	3569m ²	SUPERMARKET 1	3527m ²
CAR PARKS	10	SUPERMARKET 2	3780m ²	SUPERMARKET 2	3846m ²
RATIO	7.04 CARS/100m ²				
STAGE 4	346m ²	STAGE 2	795m ²	STAGE 2	817m ²
CAR PARKS	230	STAGE 3	142m ²	STAGE 3	150m ²
RATIO	4.49 CARS/100m ²	SERVICE STATION	142m ²	SERVICE STATION	142m ²
TOTAL	11472m ²	STAGE 4	18m ²	STAGE 4	18m ²
CAR PARKS	608	SHARED AMENITY	0m ²	SHARED AMENITY	150m ²
RATIO	5.30 CARS/100m ²	SPECIALTY 5	688m ²	SPECIALTY 5	1000m ²
		SPECIALTY 6	781m ²	SPECIALTY 6	781m ²
		SUPERMARKET 2	3780m ²	SUPERMARKET 2	3846m ²
			5246m ²		5512m ²
			11472m ²		12008m ²

CAR PARKS PROVIDED	
PWD CARPARK	13
SENIOR CARPARK	12
PRAM CARPARK	12
TAXI CARPARK	2
STANDARD CARPARKS	569
TOTAL	608
RATIO	5.30 CARS/100m²

AREA LEGEND	
	AIRLOCK
	AMENITIES
	FAST FOOD
	KIOSK
	MINI MAJOR
	OTHER
	SERVICE STATION
	SERVICES
	SPECIALTY
	SUPERMARKET
	SUPERMARKET 2

MINOR AMENDMENT ISSUE	NO.	DATE	ISSUE
MINOR AMENDMENT ISSUE 1 - RFI	01	09.10.18	F
MINOR AMENDMENT ISSUE 1 - RFI	02	04.10.18	E
MINOR AMENDMENT ISSUE 1 - RFI	03	02.10.18	D
MINOR AMENDMENT ISSUE 1 - RFI	04	28.09.18	C
MINOR AMENDMENT ISSUE 1 - RFI	05	28.09.18	B
MINOR AMENDMENT ISSUE 1 - RFI	06	01.08.18	A

ALLEANZA
ARCHITECTURE

project
KEPNOCK TOWN CENTRE

address
FE WALKER STREET

builder

client

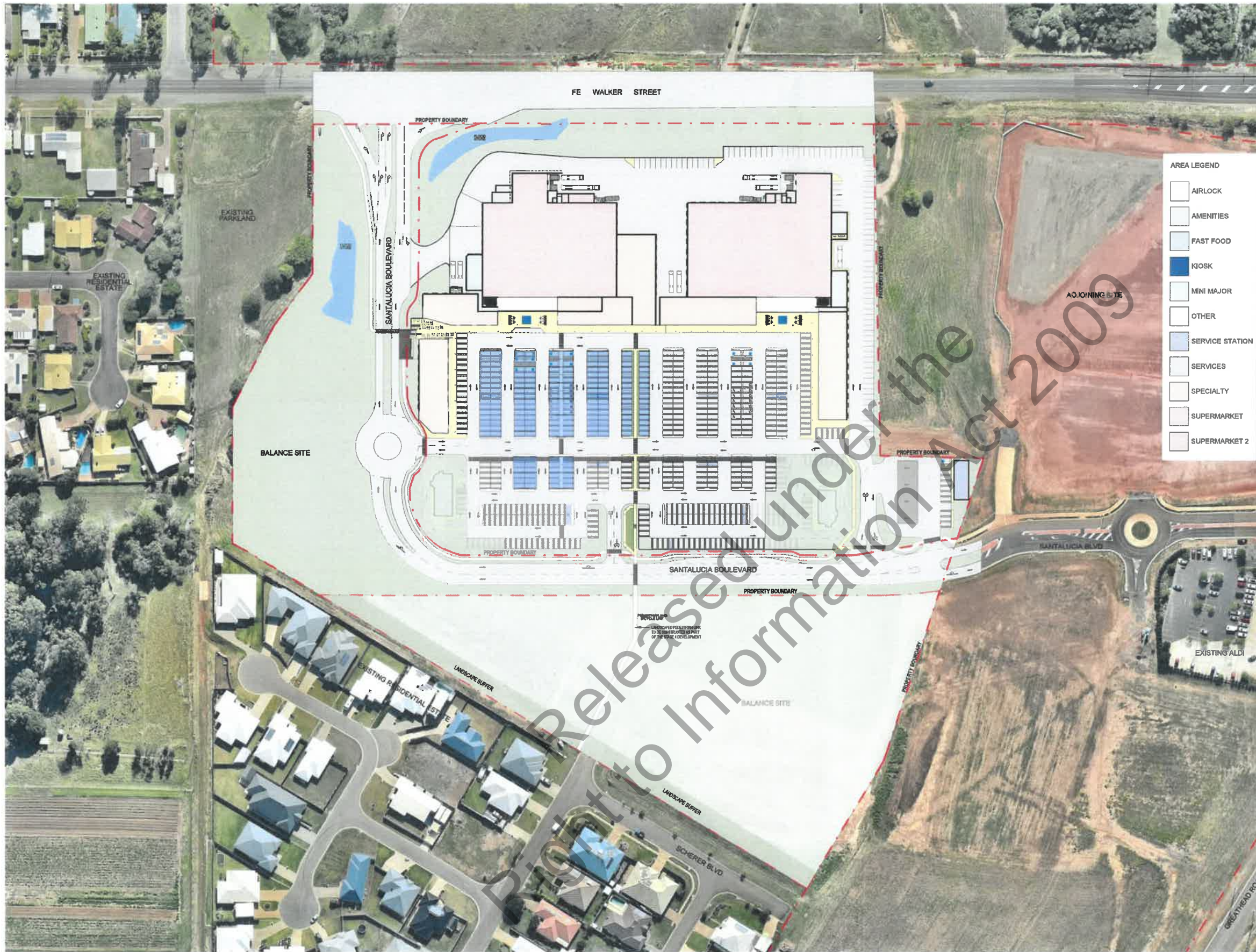
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MASTER PLAN
sheet

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TOTAL CENTRE CARS PROVIDED: 5.30 CARS/100m ² TUA		DEVELOPMENT SCHEDULE (TUA)		DEVELOPMENT SCHEDULE (GFA)	
STAGE	AREA	DEPARTMENT	AREA	DEPARTMENT	AREA
STAGE 1	5287m ²	STAGE 1	18 m ²	STAGE 1	18 m ²
STAGE 1 AREA	5287m ²	RISK 1	152 m ²	RISK 1	152 m ²
CAR PARKS	273	LIQUORLAND	0 m ²	LIQUORLAND	0 m ²
RATIO	5.16 CARS /100m ²	SHARED AMENITY	150 m ²	SHARED AMENITY	150 m ²
STAGE 2	796m ²	SPECIALTY 1	691 m ²	SPECIALTY 1	701 m ²
STAGE 2 AREA	796m ²	SPECIALTY 2	483 m ²	SPECIALTY 2	489 m ²
CAR PARKS	89	SPECIALTY 3	374 m ²	SPECIALTY 3	375 m ²
RATIO	11.18 CARS /100m ²	SUPERMARKET 1	350 m ²	SUPERMARKET 1	352 m ²
STAGE 3	142m ²	STAGE 2	796 m ²	STAGE 2	796 m ²
STAGE 3 AREA	142m ²	SPECIALTY 4	796 m ²	SPECIALTY 4	817 m ²
CAR PARKS	10	STAGE 2	796 m ²	STAGE 2	817 m ²
RATIO	7.04 CARS /100m ²	STAGE 3	142 m ²	STAGE 3	150 m ²
STAGE 4	5246m ²	STAGE 3 SERVICE STATION	142 m ²	STAGE 3	150 m ²
STAGE 4 AREA	5246m ²	STAGE 4	142 m ²	STAGE 4	150 m ²
CAR PARKS	235	RISK 2	18 m ²	STAGE 4	150 m ²
RATIO	4.49 CARS /100m ²	SHARED AMENITY	0 m ²	SHARED AMENITY	0 m ²
TOTAL	11472m ²	SPECIALTY 5	668 m ²	SPECIALTY 5	696 m ²
TOTAL AREA	11472m ²	SPECIALTY 6	781 m ²	SPECIALTY 6	788 m ²
CAR PARKS	608	SUPERMARKET 1	3700 m ²	SUPERMARKET 1	3846 m ²
RATIO	5.30 CARS /100m ²	SUPERMARKET 2	6246 m ²	SUPERMARKET 2	6572 m ²
TOTAL	608	TOTAL	11472 m ²	TOTAL	12006 m ²
CAR PARKS PROVIDED	608				
PWD CARPARK	13				
SENIOR CARPARK	12				
PRAM CARPARK	12				
TAXI CARPARK	2				
STANDARD CARPARKS	569				

- AREA LEGEND**
- AIRLOCK
 - AMENITIES
 - FAST FOOD
 - KIOSK
 - MINI MAJOR
 - OTHER
 - SERVICE STATION
 - SERVICES
 - SPECIALTY
 - SUPERMARKET
 - SUPERMARKET 2

DEFINITIONS

TOTAL USE AREA (TUA)
Total Use Area means the sum of the areas (inclusive of all walls and columns) of all stores of a building which is used or intended for use for a particular purpose plus any other areas of the site which is also used or intended for use for the same purpose, provided that the terms do not include:

- the areas (inclusive of all walls and columns) of any lifts, air conditioning and associated mechanical or electrical plant and equipment rooms;
- the area of any stairs;
- the area of any common foyer;
- the area of any public toilet;
- the areas of any staff toilets, washrooms, recreation areas and lockers provided that such areas are not open to persons other than staff; and
- car parking areas provided in association with the particular purpose in which the land or building is used.

NEW PLANNING SCHEME GFA
The total floor area of all stores of a building (measured from the outside of the external walls or the centre of a common wall, other than areas used for the following):

- (a) building services, plant and equipment
- (b) access between levels
- (c) ground floor public lobby
- (d) a mall
- (e) the parking, loading and unloading of motor vehicles
- (f) unenclosed private balconies whether rooled or not.

MINOR AMENDMENT ISSUE	DATE	DESCRIPTION
MINOR AMENDMENT ISSUE 1 - RFI AMENDMENTS	09.10.16	E
MINOR AMENDMENT ISSUE 1 - RFI AMENDMENTS	04.10.16	D
MINOR AMENDMENT ISSUE 1 - RFI AMENDMENTS	28.09.16	C
MINOR AMENDMENT ISSUE 1 - RFI AMENDMENTS	26.09.16	B
MINOR AMENDMENT ISSUE 1 - RFI AMENDMENTS	01.08.16	A

architect

ALLEANZA ARCHITECTURE

project

KEPNOCK TOWN CENTRE

address

FE WALKER STREET

builder

client

JDP

JAPANESE DEVELOPMENT PROJECTS

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OVERALL SITE PLAN

sheet

17311 A102 E

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TOTAL CENTRE CARS PROVIDED: 534 CARS/100m ² TUA		DEVELOPMENT SCHEDULE (TUA)		DEVELOPMENT SCHEDULE (GFA)	
STAGE	AREA	DEPARTMENT	AREA	STAGE	AREA
STAGE 1	5387m ²	STAGE 1	KIOSK 1	STAGE 1	18 m ²
CAR PARKS	273	LIQUORLAND	182 m ²	LIQUORLAND	158 m ²
RATIO	5.16 CARS /100m ²	SHARED AMENITY	0 m ²	SHARED AMENITY	150 m ²
STAGE 2	796m ²	SPECIALTY 1	691 m ²	SPECIALTY 1	701 m ²
CAR PARKS	89	SPECIALTY 2	499 m ²	SPECIALTY 2	499 m ²
RATIO	11.19 CARS /100m ²	SPECIALTY 3	374 m ²	SPECIALTY 3	375 m ²
STAGE 3	142m ²	SUPERMARKET 1	3589 m ²	SUPERMARKET 1	3627 m ²
CAR PARKS	10		5287 m ²		5528 m ²
RATIO	7.04 CARS /100m ²	STAGE 2	SPECIALTY 4	STAGE 2	798 m ²
STAGE 4	5246m ²	SPECIALTY 4	798 m ²	SPECIALTY 4	817 m ²
CAR PARKS	236	STAGE 3	SERVICE STATION	STAGE 3	142 m ²
RATIO	4.49 CARS /100m ²	SERVICE STATION	142 m ²	SERVICE STATION	150 m ²
TOTAL	11472m ²	STAGE 4	KIOSK 2	STAGE 4	18 m ²
CAR PARKS	608	SHARED AMENITY	0 m ²	SHARED AMENITY	150 m ²
RATIO	5.30 CARS /100m ²	SPECIALTY 5	698 m ²	SPECIALTY 5	699 m ²
TOTAL	608	SPECIALTY 6	781 m ²	SPECIALTY 6	788 m ²
		SUPERMARKET 2	3760 m ²	SUPERMARKET 2	3846 m ²
			5246 m ²		5512 m ²
			11472 m ²		12008 m ²

CAR PARKS PROVIDED

PHD CARPARK	13
SENIOR CARPARK	12
PRAM CARPARK	12
TAXI CARPARK	2
STANDARD CARPARKS	569

TOTAL 608
RATIO 5.30 CARS/100m²

AREA LEGEND

- AIRLOCK
- AMENITIES
- FAST FOOD
- KIOSK
- MINI MAJOR
- OTHER
- SERVICE STATION
- SERVICES
- SPECIALTY
- SUPERMARKET
- SUPERMARKET 2

DEFINITIONS

TOTAL USE AREA (TUA)
Total Use Area means the sum of the areas (inclusive of all walls and columns) of all stories of a building which is used or intended for use for a particular purpose plus any other areas of the site which is also used or intended for use for the same purpose provided that the term does not include:

- the areas (inclusive of all walls and columns) of any (a) lifts, (b) motor rooms, air conditioning and associated mechanical or electrical plant and equipment rooms;
- the areas of any staircases;
- the area of any common foyer;
- the area of any public toilet;
- the areas of any staff toilet, washrooms, recreation areas and lockers provided that such areas are not open to persons other than staff, and
- car parking areas provided in association with the particular purpose in which the land or building is used.

NEW PLANNING SCHEME GFA
The total floor area of all stories of a building (measured from the outside of the external walls or the centre of a common wall) other than areas used for the following:

- building services, plant and equipment
- access between levels
- ground floor public lobby
- a mall
- the parking, loading and unloading of motor vehicles
- unenclosed private balconies, whether roofed or not.

MINOR AMENDMENT ISSUE 1 - RTI AMENDMENTS	CD	09 10 18	C
MINOR AMENDMENT ISSUE 1 - RTI AMENDMENTS	CD	26 09 18	B
MINOR AMENDMENT ISSUE 1	JP	01 08 18	A
subject	p.a	date	issue

ALLEANZA ARCHITECTURE

project
KEPNOCK TOWN CENTRE

address
FE WALKER STREET

builder

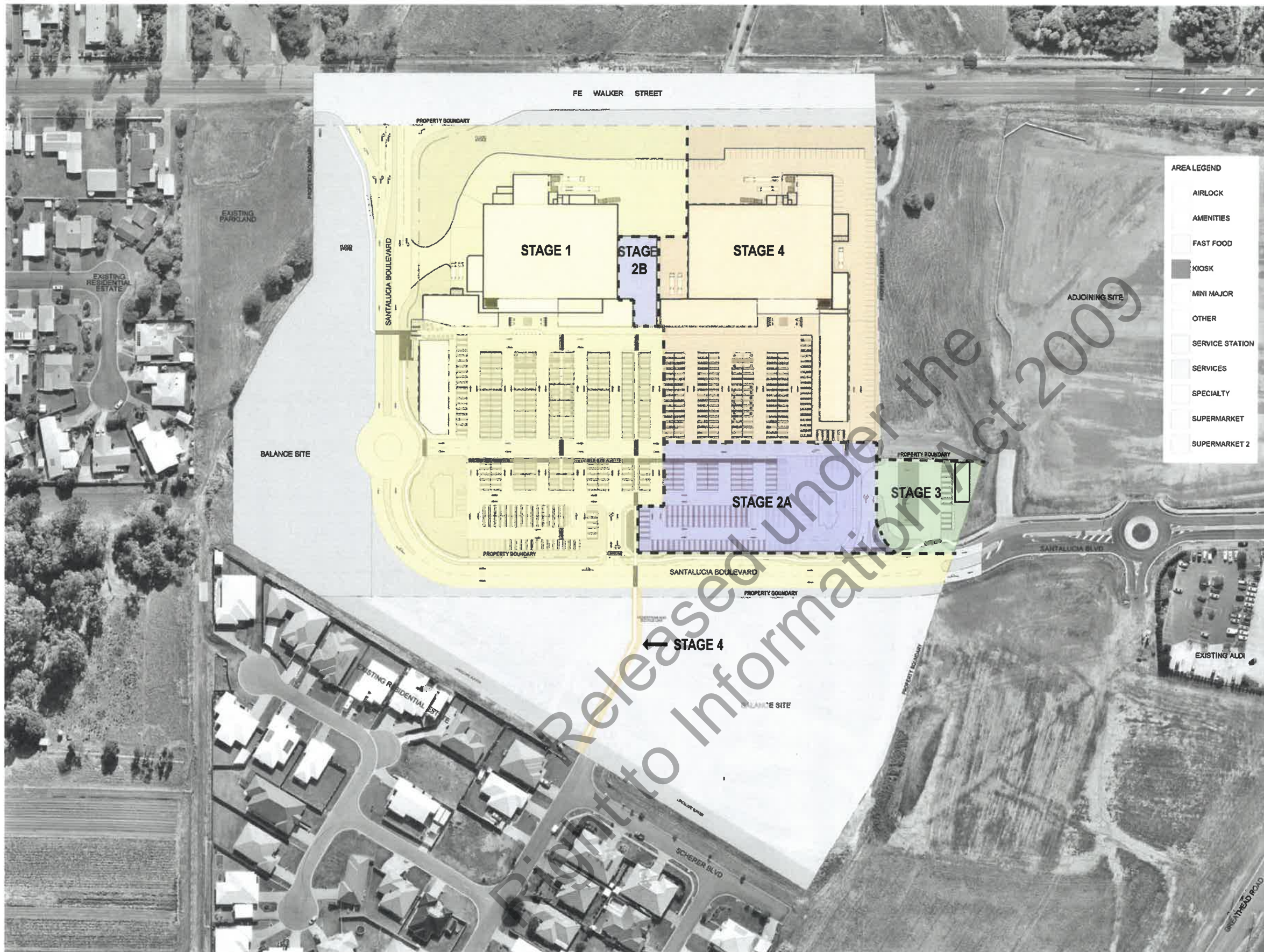
client
JDP
JANAM DEVELOPMENT PROJECTS

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OVERALL DEVELOPMENT STAGING PLAN

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17311	A105	C
project_no.	sheet_no	issue



AREA LEGEND

- AIRLOCK
- AMENITIES
- FAST FOOD
- KIOSK
- MINI MAJOR
- OTHER
- SERVICE STATION
- SERVICES
- SPECIALTY
- SUPERMARKET
- SUPERMARKET 2

MINOR AMENDMENT ISSUE 1 - RFI AMENDMENTS	CD	09/10/18	B
MINOR AMENDMENT ISSUE 1 - RFI AMENDMENTS	CD	04/10/18	A
subject	p.a.	date	issue
			architect

ALLEANZA
ARCHITECTURE

project
KEPNOCK TOWN CENTRE

address
FE WALKER STREET

builder

client

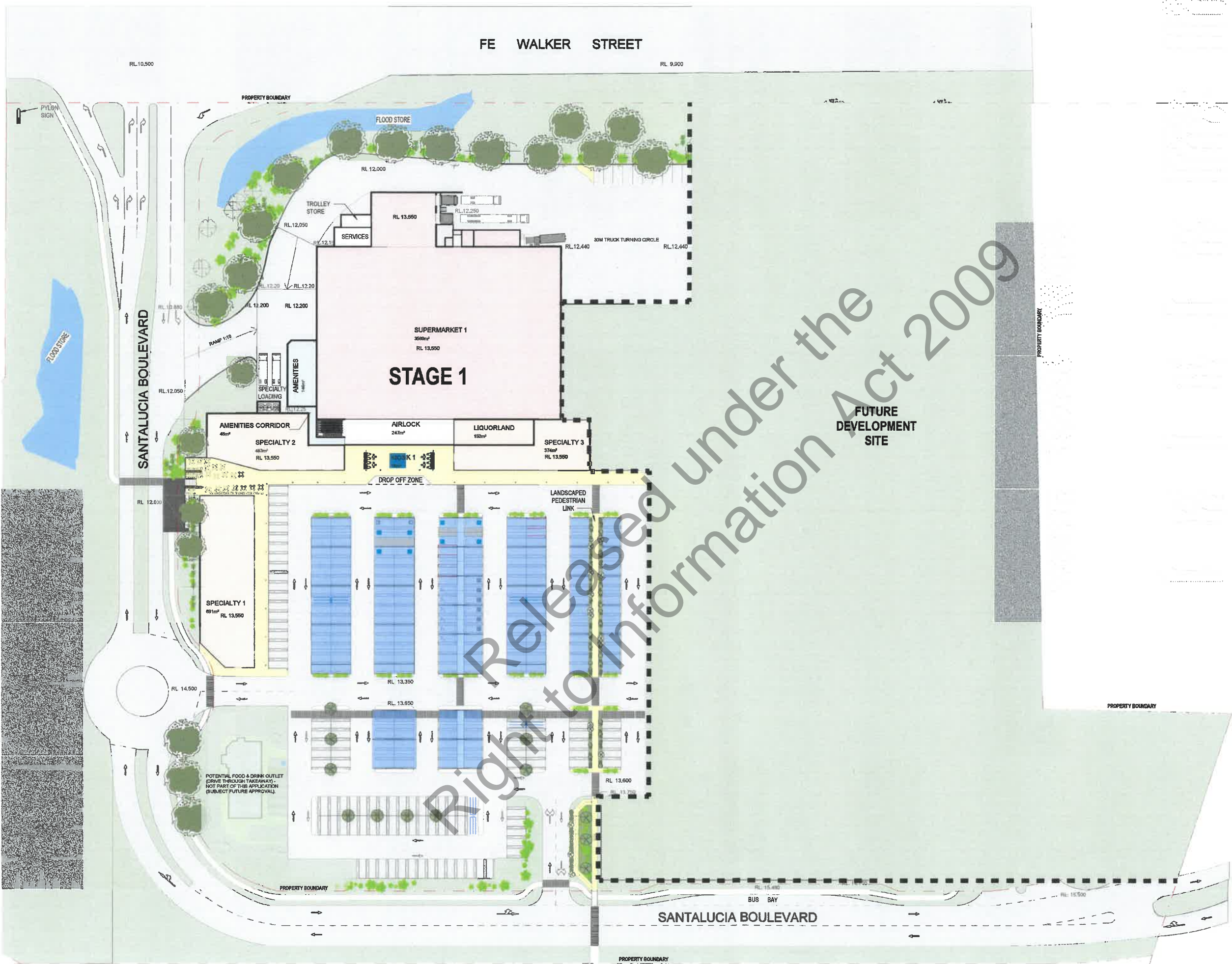


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sheet size:	A1
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OVERALL SITE STAGING PLAN

17311	A106	B
project_no	sheet_no	issue



Right to Information Act 2009

AREA LEGEND

- AIRLOCK
- AMENITIES
- FAST FOOD
- KIOSK
- MINI MAJOR
- OTHER
- SERVICE STATION
- SERVICES
- SPECIALTY
- SUPERMARKET
- SUPERMARKET 2

MINOR AMENDMENT ISSUE 1 - RFI AMENDMENTS	GD	09.10.18	C
MINOR AMENDMENT ISSUE 1 - RFI AMENDMENTS	GD	26.09.18	B
MINOR AMENDMENT ISSUE 1	JP	01.08.18	A
subject	p.a	date	issue
			architect



project
KEPNOCK TOWN CENTRE

address
FE WALKER STREET

builder



client

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verified:	CV
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**PROPOSED SITE PLAN
STAGE 1**

17311	A110	C
project_no.	sheet_no.	issue

FE WALKER STREET

RL 10.500

RL 9.900

PROPERTY BOUNDARY

PYLON SIGN

FLOOD STORE

SANTALUCIA BOULEVARD

RL 10.880

RL 12.050

RL 12.000

RL 14.500

SPECIALTY 4
700m²
RL 13.550
STAGE 2B

FUTURE DEVELOPMENT SITE

STAGE 2A

POTENTIAL FOOD & DRINK OUTLET
(DRIVE THROUGH TAKEAWAY)
NOT PART OF THIS APPLICATION
(SUBJECT FUTURE APPROVAL)

SANTALUCIA BOULEVARD

BUS BAY

PROPERTY BOUNDARY

AREA LEGEND

-  AIRLOCK
-  AMENITIES
-  FAST FOOD
-  KIOSK
-  MINI MAJOR
-  OTHER
-  SERVICE STATION
-  SERVICES
-  SPECIALTY
-  SUPERMARKET
-  SUPERMARKET 2

MINOR AMENDMENT ISSUE 1 - RFI AMENDMENTS	CD	02.10.18	C
MINOR AMENDMENT ISSUE 1 - RFI AMENDMENTS	CD	25.09.18	B
MINOR AMENDMENT ISSUE 1 - RFI AMENDMENTS	JP	01.08.18	A
subject: 'p.a'	date	issue	

ALLEANZA ARCHITECTURE

project
KEPNOCK TOWN CENTRE

address
FE WALKER STREET

builder

client



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PROPOSED SITE PLAN
STAGE 2
sheet

17311	A111	C
project_no.	sheet_no	issue

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AREA LEGEND

[Symbol]	AIRLOCK
[Symbol]	AMENITIES
[Symbol]	FAST FOOD
[Symbol]	KIOSK
[Symbol]	MINI MAJOR
[Symbol]	OTHER
[Symbol]	SERVICE STATION
[Symbol]	SERVICES
[Symbol]	SPECIALTY
[Symbol]	SUPERMARKET
[Symbol]	SUPERMARKET 2

MINOR AMENDMENT ISSUE 1 - RFI AMENDMENTS	GD	09.10.18	C
MINOR AMENDMENT ISSUE 1 - RFI AMENDMENTS	GD	20.09.18	B
MINOR AMENDMENT ISSUE 1	JP	01.09.18	A
subject:	p.s.	date	issue
architect			

ALLEANZA
ARCHITECTURE

project
KEPNOCK TOWN CENTRE

address
FE WALKER STREET

builder

client
JDP
JANAM DEVELOPMENT PROJECTS

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PROPOSED SITE PLAN
STAGE 3

17311	A112	C
project_no.	sheet_no.	issue



Right to Information Act 2009

AREA LEGEND

	AIRLOCK
	AMENITIES
	FAST FOOD
	KIOSK
	MINI MAJOR
	OTHER
	SERVICE STATION
	SERVICES
	SPECIALTY
	SUPERMARKET
	SUPERMARKET 2

MINOR AMENDMENT ISSUE 1 - RFI AMENDMENTS	CD	02.10.18	C
MINOR AMENDMENT ISSUE 1 - RFI AMENDMENTS	CD	26.09.18	B
MINOR AMENDMENT ISSUE 1 - RFI AMENDMENTS	JP	01.08.18	A
subject	p.a	date	issue

ALLEANZA
ARCHITECTURE

project
KEPNOCK TOWN CENTRE

address
FE WALKER STREET

builder

client

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JASAM DEVELOPMENT PROJECTS

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PROPOSED SITE PLAN
STAGE 4
sheet

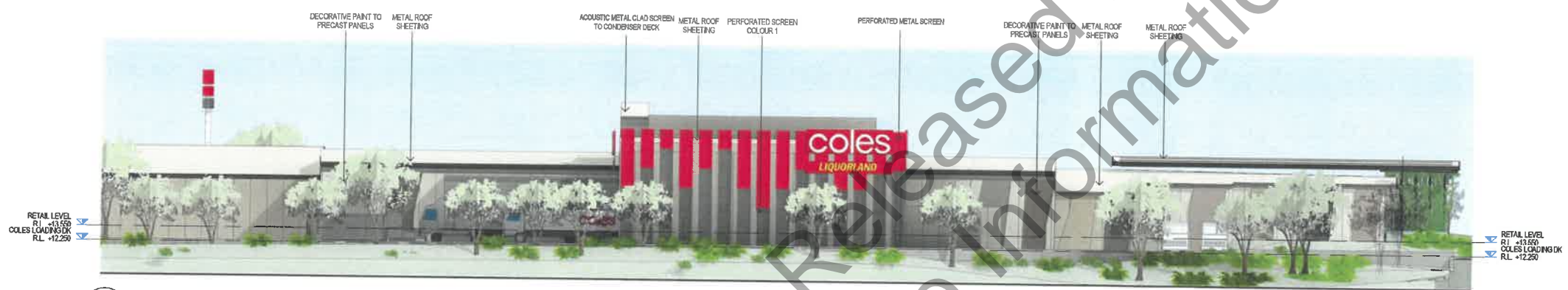
17311	A113	C
project_no.	sheet_no	Issue



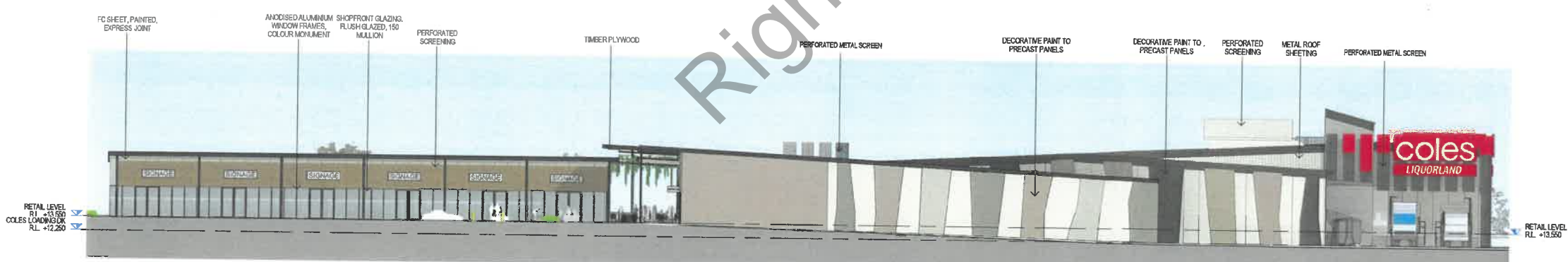
1 SOUTH ELEVATION STAGE 1 AND 2B
SCALE 1:250 @A1



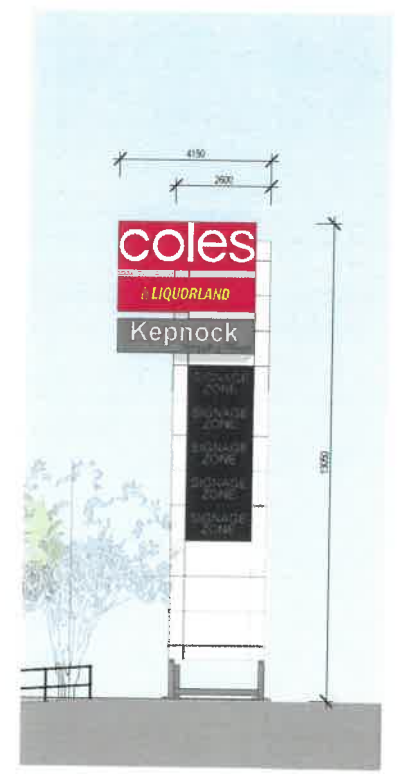
2 WEST ELEVATION STAGE 1 AND 2B
SCALE 1:250 @A1



3 NORTH ELEVATION STAGE 1 AND 2B
SCALE 1:250 @A1



4 EAST ELEVATION STAGE 1 AND 2B
SCALE 1:250 @A1



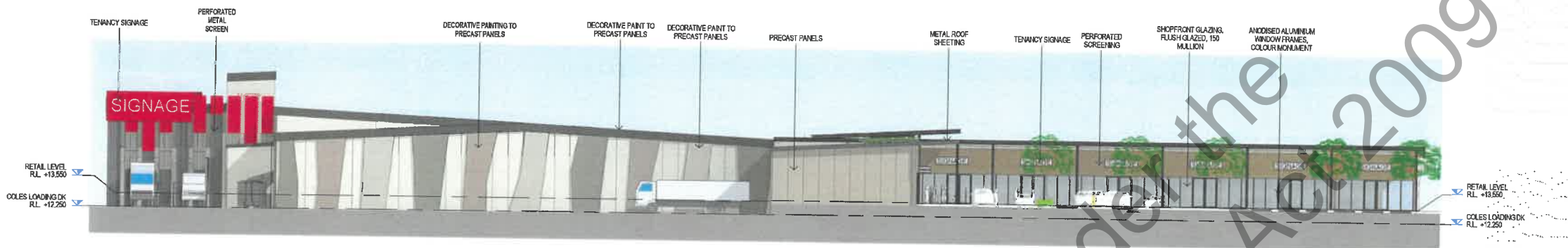
5 PYLON SIGNAGE DETAIL VIEW
SCALE 1:100 @A1

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MINOR AMENDMENT ISSUE 1 JP 01.08.18 A
 subject p.a date issue
 architect
ALLEANZA
 ARCHITECTURE
 project
KEPNOCK TOWN CENTRE
 address
FE WALKER STREET
 builder
 client
JDP
 JANAM DEVELOPMENT PROJECTS
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 verified: CV
 sheet size: A1
 north
 scale: As indicated
STAGE 1 AND STAGE 2B
ELEVATIONS
 sheet
 17311 A202 A
 project_no. sheet_no. Issue



1 SOUTH ELEVATION STAGE 4
SCALE 1:250 @A1



2 WEST ELEVATION STAGE 4
SCALE 1:250 @A1



3 NORTH ELEVATION STAGE 4
SCALE 1:250 @A1



4 EAST ELEVATION STAGE 4
SCALE 1:250 @A1

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MINOR AMENDMENT ISSUE 1 JP 01.08.18 A
subject p.a data issue
architect

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verified: CV
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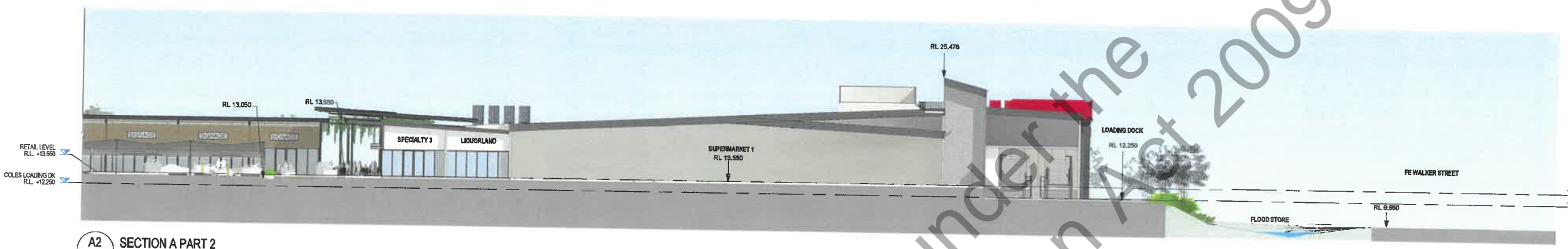
STAGE 4 ELEVATIONS
sheet

17311 project_no. A204 sheet_no. A issue



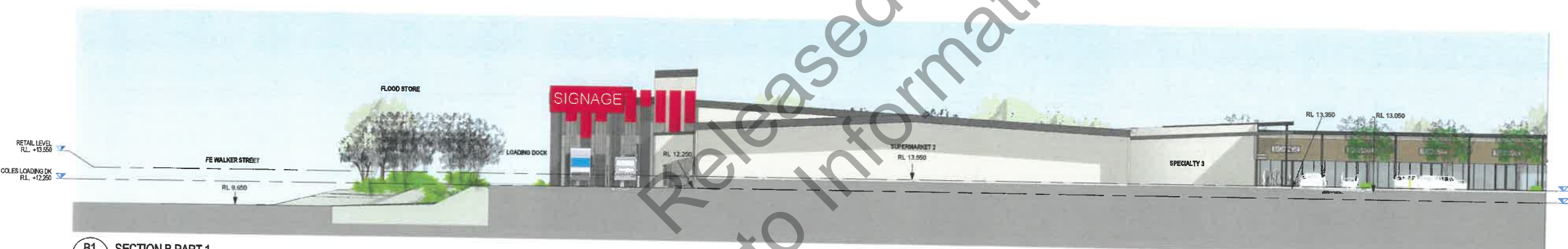
A1 SECTION A PART 1
SCALE 1:250 @A1

RETAIL LEVEL
RL +13,550
COLES LOADING DK
RL +12,250



A2 SECTION A PART 2
SCALE 1:250 @A1

RETAIL LEVEL
RL +13,550
COLES LOADING DK
RL +12,250



B1 SECTION B PART 1
SCALE 1:250 @A1

RETAIL LEVEL
RL +13,550
COLES LOADING DK
RL +12,250



B2 SECTION B PART 2
SCALE 1:250 @A1

RETAIL LEVEL
RL +13,550
COLES LOADING DK
RL +12,250

MINOR AMENDMENT ISSUE 1 - RPI AMENDMENTS	GD	26.09.18	B
MINOR AMENDMENT ISSUE 1	JP	01.08.18	A
subject	p.a	date	issue
			architect

ALLEANZA
ARCHITECTURE

project
KEPNOCK TOWN CENTRE

address
FE WALKER STREET

builder

client
JDP
JAPAN DEVELOPMENT PROJECTS

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GENERAL SECTIONS		
project_no.	sheet_no	issue
17311	A301	B



VIEW OF SUPERMARKET ENTRY FROM CARPARK

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MINOR AMENDMENT ISSUE 1 JP 01.08.18 A
 subject p.a date issue
 architect
ALLEANZA
 ARCHITECTURE
 project
 KEPNOCK TOWN CENTRE
 address
 78 WALKER STREET
 builder



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 verified: CV
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 north
 scale:

3D VIEWS
 sheet

17311 A901 A
 project_no. sheet_no issue



VIEW OF ALFRESCO DINING & PEDESTRIAN ENTRY OFF SANTALUCIA BLVD

MINOR AMENDMENT ISSUE 1 #P 01.08.18 A
 subject p.a date issue

architect
ALLEANZA
 ARCHITECTURE

project
KEPNOCK TOWN CENTRE

address
FE WALKER STREET

builder

client
JDP
 JANAM DEVELOPMENT PROJECTS

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 checked: VM
 verified: CV
 sheet size: A1
 north scale:

3D VIEWS
 sheet

17311 A902 A
 project_no. sheet_no issue



VIEW OF SUPERMARKET 1 ENTRY AND SPECIALTIES FROM CARPARK

AMENDMENT ISSUE 1 IP 01.08.18 A
 subject p.a date issue

architect
ALLEANZA
 ARCHITECTURE

project
KEPNOCK TOWN CENTRE

address
100 WALKER STREET

builder

client
JDP
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 verified: CV
 sheet size: A1
 north scale:

3D VIEWS
 sheet

17311 A903 A
 project_no sheet_no issue



VIEW FROM FE WALKER STREET

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MINOR AMENDMENT ISSUE 1 - RFI	GD	26.09.18	B
AMENDMENTS	JP	01.08.18	A
MINOR AMENDMENT ISSUE 1	subject	p.a	date
			issue
			architect

ALLEANZA
ARCHITECTURE

project
KEPNOCK TOWN CENTRE

address
FE WALKER STREET

builder

client



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checked:	CV
verified:	CV
sheet size:	A1
scale:	

north

3D VIEWS

17311	A904	B
project_no.	sheet_no	issue



VIEW OF SPECIALTIES AROUND SUPERMARKET 2 ENTRY

MINOR AMENDMENT ISSUE 1 JP 01.08.18 A
 subject p.a date issue

architect
ALLEANZA
 ARCHITECTURE

project
 KEPNOCK TOWN CENTRE

address
 FE WALKER STREET

builder

client
JDP
 JAWAHIR DEVELOPMENT PROJECTS

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 verified: CV
 sheet size: A1
 north

3D VIEWS
 sheet

17311 A905 A
 project_no. sheet_no issue

17311



VIEW OF SUPERMARKET 2 ENTRY AND SPECIALTIES FROM CARPARK

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Right to Information Act 2009

subject	17311	date	01.08.18	issue	A
architect	ALLEANZA ARCHITECTURE				
project	KEPNOCK TOWN CENTRE				
address	100 WALKER STREET				
builder	JDP				
client	JDP				

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checked:	CV
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sheet size:	A1
scale:	

3D VIEWS
sheet

project_no.	17311	sheet_no.	A906	issue	A
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BUNDABERG REGIONAL COUNCIL

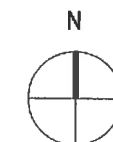
KEPNOCK CENTRAL BUNDABERG



LOCALITY PLAN

NTS

DRAWING INDEX		
DRAWING No.	DRAWING TITLE	REVISION
1803-019-SK001	COVER SHEET	A
1803-019-SK002	GROUND LEVEL PLAN - SHEET 1	A
1803-019-SK003	GROUND LEVEL PLAN - SHEET 2	A
1803-019-SK004	GROUND LEVEL PLAN - SHEET 3	A
1803-019-SK010	SECTIONS - SHEET 1	C
1803-019-SK011	SECTIONS - SHEET 2	C
1803-019-SK012	SECTIONS - SHEET 3	A
1803-019-SK020	ELEVATIONS - SHEET 1	A
1803-019-SK021	ELEVATIONS - SHEET 2	A
1803-019-SK022	ELEVATIONS - SHEET 3	A
1803-019-SK030	PLANT SCHEDULE, IMAGES & NOTES	A



PRELIMINARY

rev	description	drawn	date
A	INITIAL ISSUE	RM	30.07.18

JANAM DEVELOPMENT PROJECTS
 KEPNOCK CENTRAL, BUNDABERG
 LANDSCAPE CONCEPT PLAN
 COVER SHEET

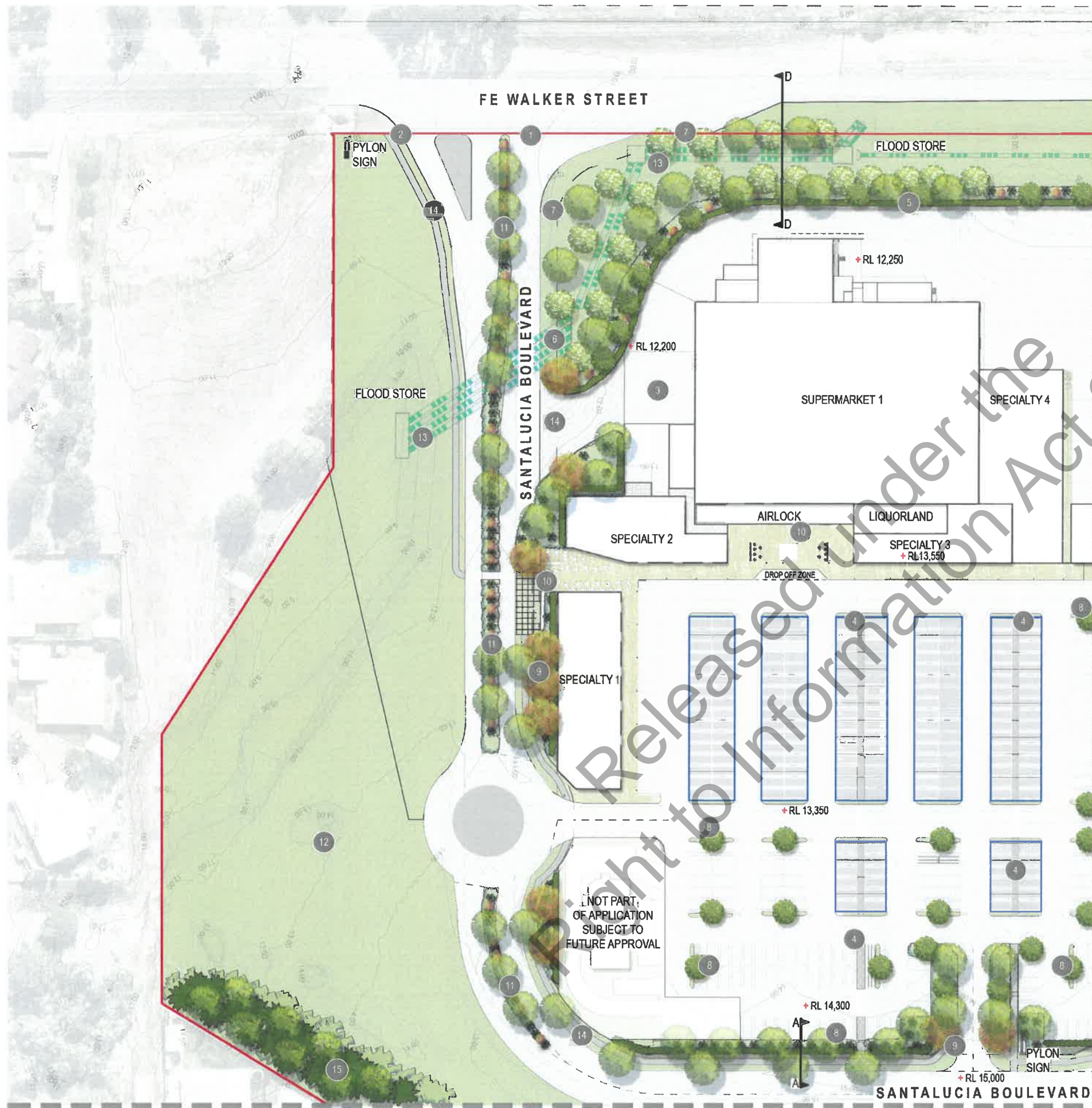


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scale NTS for A1 job no. 1803-019
 date JULY 2018 rev no. A

approved E. NICHOLAOU* SK001



JOINS DRAWING 1803-019-SK004

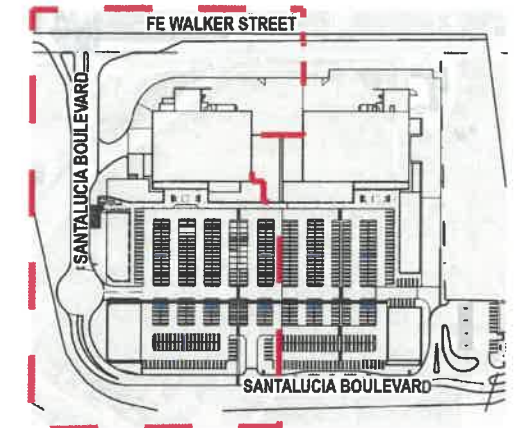
PLAN
SCALE 1:500

ANNOTATION NOTES

- 1 SITE ENTRY
- 2 PEDESTRIAN SITE ENTRY
- 3 VEHICLE MANEUVERING AREA
- 4 CONTRASTING THRESHOLD PAVEMENT TREATMENT TO DEFINE PEDESTRIAN PRIORITY PATHWAYS
- 5 BUFFER PLANTING COMPRISED OF TREE, SHRUB AND GROUNDCOVER PLANTING AS PER PLANT SPECIES LIST INCLUDED ON DRAWING 1803-019-SK030 TO SCREEN PROPOSED LOADING BAY FACILITY FROM FE WALKER STREET
- 6 STORMWATER EASEMENT AREA TO INCLUDE BATTER PLANTING WITH NATIVE GROUNDCOVERS AND TREES AND TURFED INVERT - REFER TO SECTION D-D ON DRAWING 1803-019-SK011 FOR DETAILS
- 7 STORMWATER EASEMENT ALONG FE WALKER STREET TO BE VISUAL BUFFER WITH NATIVE SHRUBS AND GROUNDCOVERS THAT CAN WITHSTAND PERIODIC INUNDATION. REFER TO STORMWATER PLANTING LIST ON DRAWING 1803-019-SK030 FOR APPROPRIATE SPECIES
- 8 SHADE TREES TO CARPARK. TREES TO BE MAINTAINED WITH A CLEAR TRUNK TO MAXIMISE SURVEILLANCE / SIGHT LINES FOR TRAFFIC AND PEDESTRIANS. TREES TO BE UNDERPLANTED WITH SHRUBS AND GROUNDCOVERS AS PER PLANT SPECIES LIST ON DRAWINGS 1803-019-SK030
- 9 FEATURE TREE TO BE USED AT ENTRY. TREES TO BE UNDERPLANTED WITH SHRUBS AND GROUND COVERS AS PER PLANT SPECIES LIST ON DRAWING 1803-019-SK030
- 10 OUTDOOR DINING AREA AND SUPERMARKET 1 ENTRY TO INCLUDE PROVISION FOR PODIUM PLANTER. PODIUM PLANTERS TO FEATURE CLIMBING SPECIES. REFER TO DRAWING 1803-019-SK030 FOR CLIMBING PLANT SPECIES LIST
- 11 ENTRY MEDIAN TO BE PLANTED WITH STREET TREES. TREES TO BE UNDERPLANTED WITH SHRUBS AND GROUNDCOVERS
- 12 EXISTING GRASS AREA / MAKE GOOD IF DAMAGED
- 13 REFER TO CIVIL ENGINEERS DRAWINGS FOR DESIGN OF STORMWATER EASEMENTS AND FLOOD STORE AREA
- 14 REFER TO CIVIL ENGINEERS DRAWINGS FOR CARPARK, DRIVEWAY AND FOOTPATH DETAILS
- 15 TREE BUFFERING ALONG SOUTH BOUNDARY TO PROVIDE VISUAL SCREEN. TREES TO BE PLANTED AT A MINIMUM OF 5m SPACINGS. TREES TO BE UNDERPLANTED WITH SHRUBS AND GROUND COVERS AS PER PLANT SPECIES LIST ON DRAWING 1803-019-SK030

NOTES

1. REFER TO DRAWING 1803-019-SK030 FOR PLANT SPECIES SCHEDULE, IMAGES AND GENERAL NOTES



KEY PLAN
SCALE 1:2500

LEGEND

- PROPOSED FEATURE TREES
- PROPOSED SHADE / STREET TREES
- PROPOSED SHRUB AND LOW LEVEL PLANTING
- PROPOSED SHRUB SCREEN PLANTING
- PROPOSED GROUNDCOVER PLANTING
- PEDESTRIAN PRIORITY PATHWAYS
- TURF/GRASSED AREAS
- PAVED AREAS
- CONCRETE AREAS - REFER CIVIL ENGINEERS DRAWINGS FOR DETAILS
- PROPERTY BOUNDARY
- PROPOSED STORMWATER
- LINE OF SHADE SAILS OVER - REFER TO ARCHITECTS DRAWINGS FOR DETAILS
- + 13,000 PROPOSED SURFACE LEVEL
- 13.50 EXISTING SURVEY LEVEL

PRELIMINARY

rev	description	drawn	date
A	INITIAL ISSUE	RM	30.07.18

JANAM DEVELOPMENT PROJECTS
KEPNOCK CENTRAL, BUNDABERG
LANDSCAPE CONCEPT PLAN
GROUND LEVEL PLAN - SHEET 1

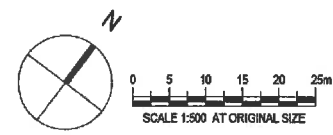


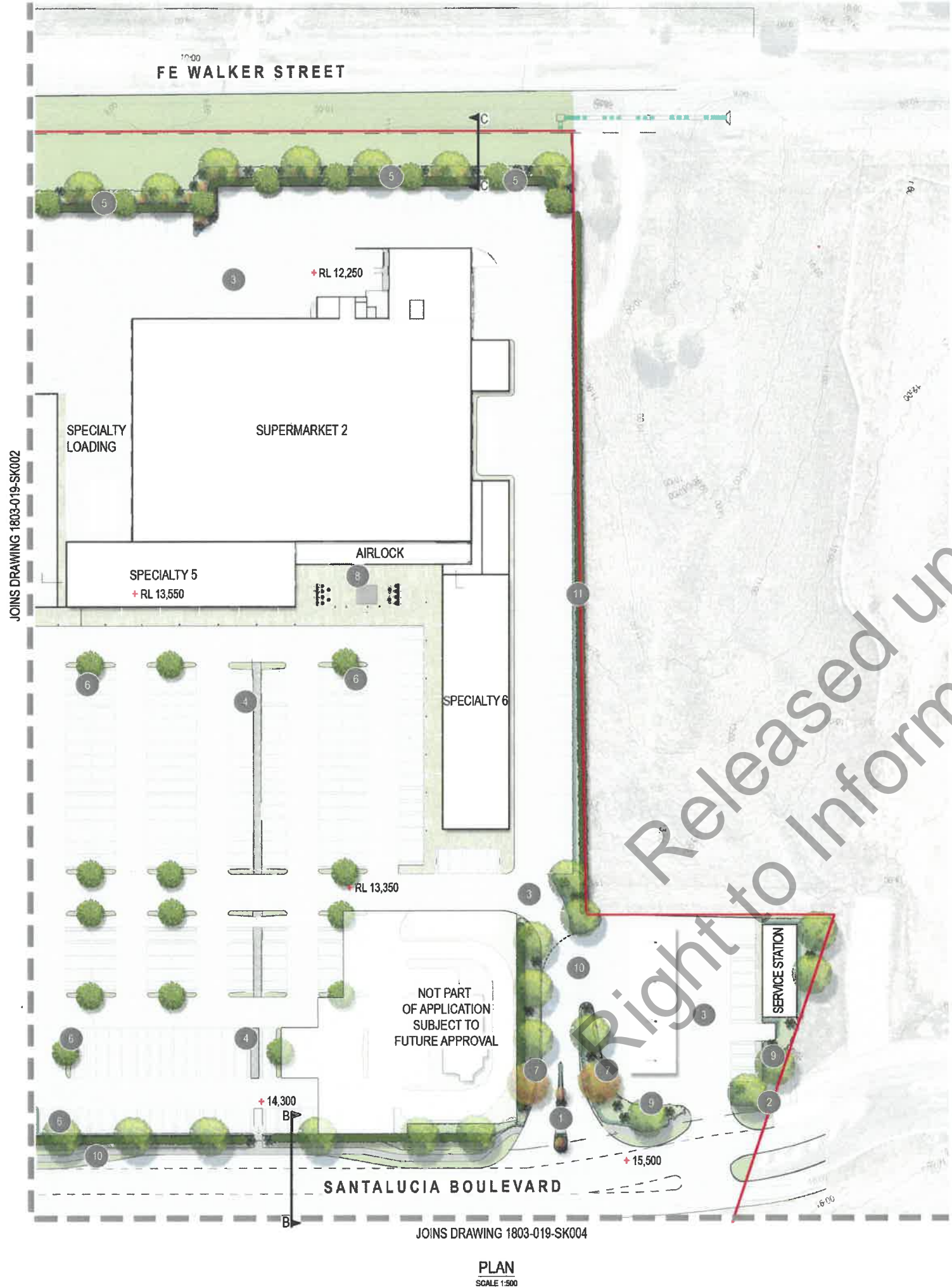
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date JULY 2018 rev no. A

approved E. NICHOLAOU* SK002



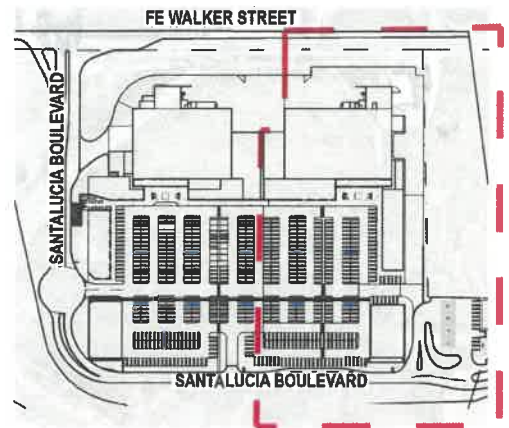


ANNOTATION NOTES

- 1 SITE ENTRY
- 2 PEDESTRIAN SITE ENTRY
- 3 VEHICLE MANEUVERING AREA
- 4 CONTRASTING CONCRETE SURFACE FINISH TO DEFINE PEDESTRIAN PRIORITY PATHWAYS
- 5 BUFFERING, TREES, SHRUBS AND GROUND COVERS TO BE USED TO SCREEN LOADING BAY FROM FE WALKER STREET.
- 6 SHADE TREES TO CARPARK. TREES TO BE MAINTAINED WITH A CLEAR TRUNK TO MAXIMISE SURVEILLANCE / SIGHT LINES FOR TRAFFIC AND PEDESTRIANS. TREES TO BE UNDERPLANTED WITH SHRUBS AND GROUNDCOVERS AS PER PLANT SPECIES LIST ON DRAWINGS 1803-019-SK030
- 7 FEATURE TREE TO BE USED AT ENTRY. TREES TO BE UNDERPLANTED WITH SHRUBS AND GROUNDCOVERS AS PER PLANT SPECIES LIST ON DRAWING 1803-019-SK030
- 8 SUPERMARKET 2 ENTRY TO INCLUDE PROVISION FOR PODIUM PLANTERS PROPOSED PLANT SPECIES TO INCLUDE CLIMBING PLANTS AS PER SPECIES SCHEDULE ON DRAWING 1803-019-SK030
- 9 PLANTING AREAS TO SERVICE STATION SURROUNDS TO INCLUDE TREE, SHRUB AND GROUNDCOVER SPECIES POSITIONED TO ENSURE VEHICLE AND PEDESTRIAN SIGHTLINES ARE PRESERVED
- 10 REFER TO CIVIL ENGINEERS DRAWINGS FOR CARPARK, DRIVEWAY AND FOOTPATH DETAILS
- 11 SHRUB SCREEN / BUFFER PLANTING TO NORTH EAST PROPERTY BOUNDARY

NOTES

- 1. REFER TO DRAWING 1803-019-SK030 FOR PLANT SPECIES SCHEDULE, IMAGES AND GENERAL NOTES



KEY PLAN
SCALE 1:2500

LEGEND

- PROPOSED FEATURE TREES
- PROPOSED SHADE / STREET TREES
- PROPOSED SHRUB AND LOW LEVEL PLANTING
- PROPOSED SHRUB SCREEN PLANTING
- PROPOSED GROUNDCOVER PLANTING
- PEDESTRIAN PRIORITY PATHWAYS
- TURF/GRASSED AREAS
- PAVED AREAS
- CONCRETE AREAS - REFER CIVIL ENGINEERS DRAWINGS FOR DETAILS
- PROPERTY BOUNDARY
- PROPOSED STORMWATER
- +13,000 PROPOSED SURFACE LEVEL
- 13.50 EXISTING SURVEY LEVEL

PRELIMINARY

A	INITIAL ISSUE	RM	30.07.18
rev	description	drawn	date

JANAM DEVELOPMENT PROJECTS
KEPNOCK CENTRAL, BUNDABERG
LANDSCAPE CONCEPT PLAN
GROUND LEVEL PLAN - SHEET 2

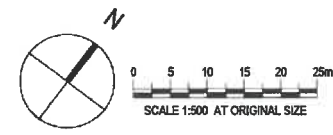


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scale 1:500 for A1 job no. 1803-019
date JULY 2018 rev no. A

approved E. NICHOLAOU* SK003



JOINS DRAWING 1803-019-SK002

JOINS DRAWING 1803-019-SK004

PLAN
SCALE 1:500



PLAN
SCALE 1:500

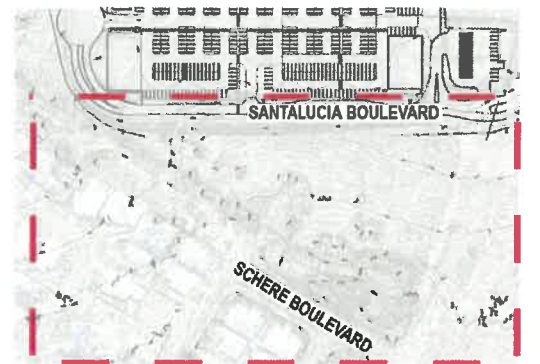
ANNOTATION NOTES

- 1 SITE ENTRY
- 2 PEDESTRIAN SITE ENTRY
- 3 PERIMETER ACCESS ROADWAY
- 4 BUFFER PLANTING ALONG SOUTHERN PROPERTY BOUNDARY TO PROVIDE VISUAL SCREEN. TREES TO BE PLANTED AT A MINIMUM OF 5m SPACINGS. TREES TAS PER PLANT SPECIES LIST ON DRAWING 1803-019-SK030
- 5 EXISTING GRASS AREA / MAKE GOOD IF DAMAGED

NOTES

- 1. REFER TO DRAWING 1803-019-SK030 FOR PLANT SPECIES SCHEDULE, IMAGES AND GENERAL NOTES

- 6 REFER TO CIVIL AND SURVEY DRAWINGS FOR LOCATION AND DETAILS OF STORMWATER INFRASTRUCTURE
- 7 REFER TO CIVIL ENGINEERS DRAWINGS FOR CARPARK, DRIVEWAY AND FOOTPATH DETAILS
- 8 FEATURE TREE TO BE USED AT ENTRY. TREES TO BE UNDERPLANTED WITH SHRUBS AND GROUND COVERS AS PER PLANT SPECIES LIST ON DRAWING 1803-019-SK030



KEY PLAN
SCALE 1:2500

LEGEND

- PROPOSED FEATURE TREES
- PROPOSED SHADE / STREET TREES
- PROPOSED SHRUB AND LOW LEVEL PLANTING
- PROPOSED SHRUB SCREEN PLANTING
- PROPOSED GROUNDCOVER PLANTING
- PEDESTRIAN PRIORITY PATHWAYS
- TURF/GRASSED AREAS
- PAVED AREAS
- CONCRETE AREAS - REFER CIVIL ENGINEERS DRAWINGS FOR DETAILS
- PROPERTY BOUNDARY
- 13.50 EXISTING SURVEY LEVEL



PRELIMINARY

rev	description	drawn	date
A	INITIAL ISSUE	RM	30.07.18

JANAM DEVELOPMENT PROJECTS
KEPNOCK CENTRAL, BUNDABERG
LANDSCAPE CONCEPT PLAN
GROUND LEVEL PLAN - SHEET 3

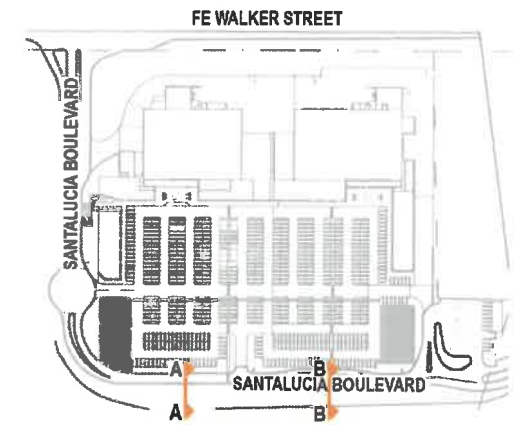
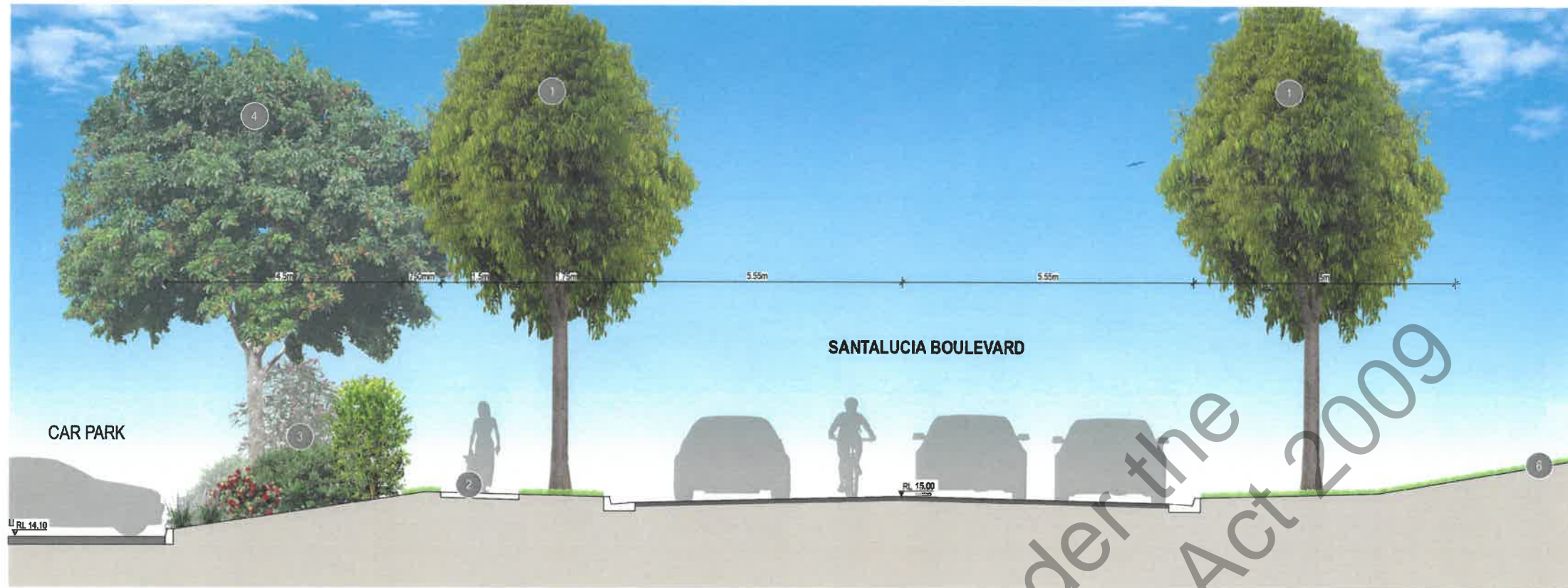


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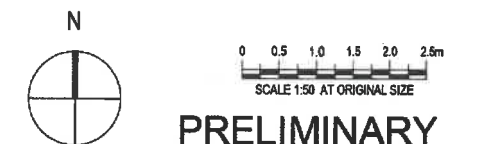
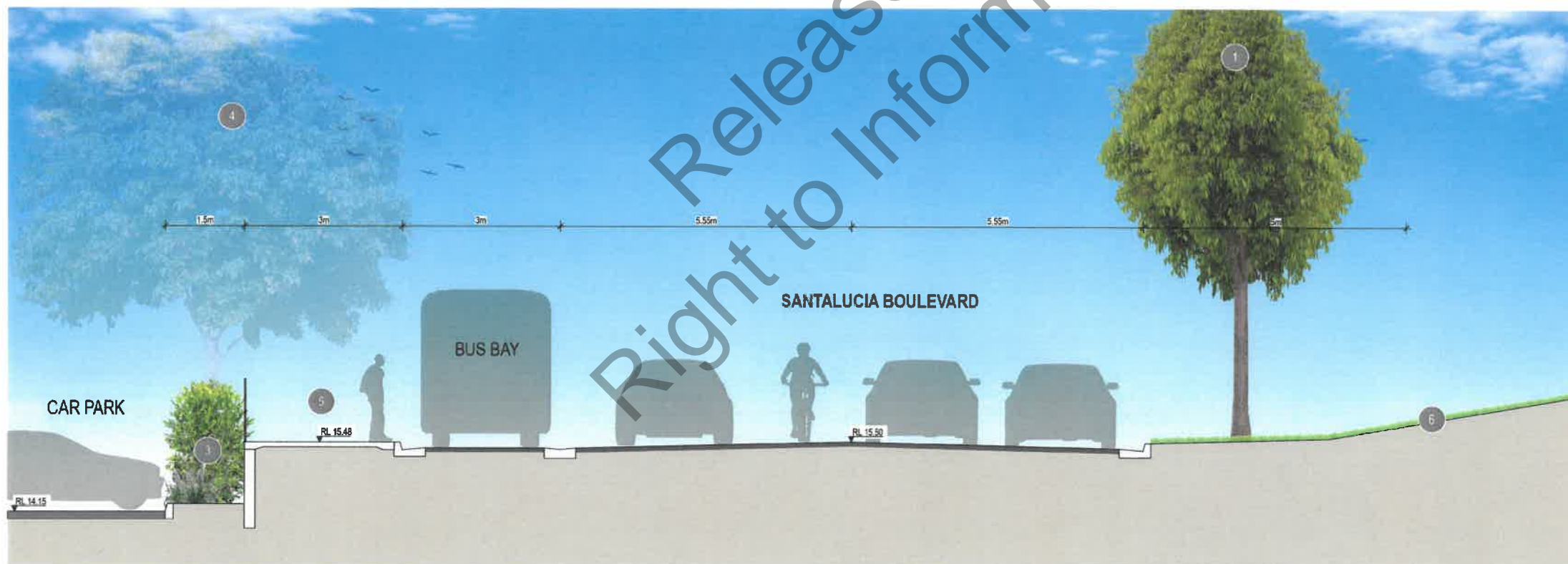
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date | JULY 2018 rev no. | A

approved E. NICHOLAOU* SK004



ANNOTATION NOTES

- 1 PROPOSED STREET TREE
- 2 1.5m WIDE FOOTPATH
- 3 BUFFER / SCREEN PLANTING TO BOUNDARY
- 4 PROPOSED SHADE TREE TO PROVIDE AMENITY TO CARPARKING BAYS
- 5 BUS WAITING AREA
- 6 TURFED BATTER
- 7 REFER CIVIL ENGINEERS DRAWINGS FOR RETAINING WALL DETAILS - ONLY REQUIRED AT BUS BAY AREA



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C	REVISED ISSUE	KVW	30.07.18
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JANAM DEVELOPMENT PROJECTS
106 FE WALKER STREET, KEPNOCK
LANDSCAPE CONCEPT PLAN
SECTIONS - SHEET 1

LAUD ink
landscape architecture and urban design

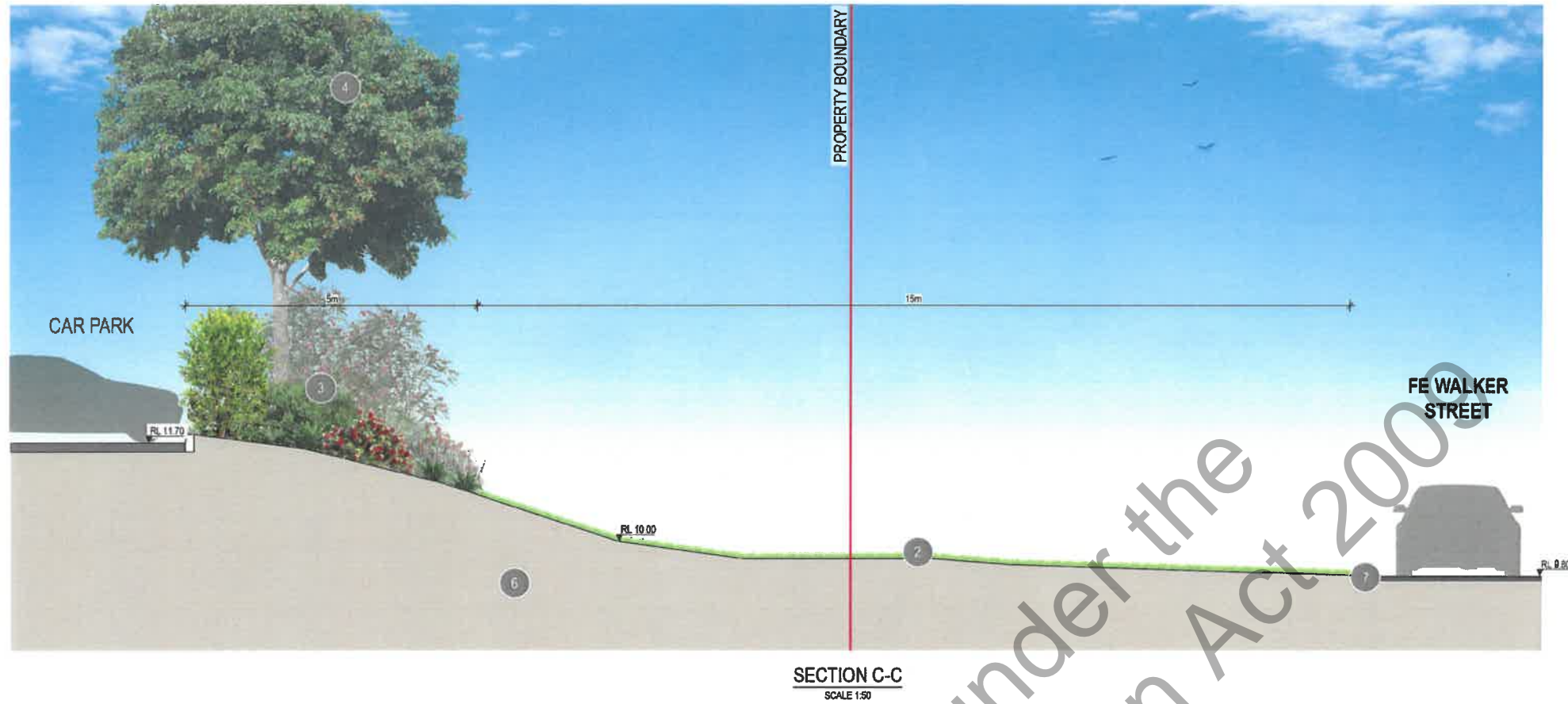
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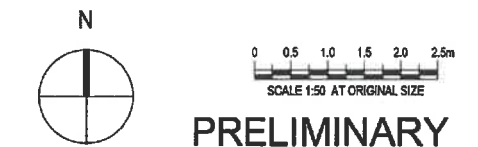
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- ANNOTATION NOTES**
- 1 PROPOSED SHADE / CANOPY TREE
 - 2 PROPOSED TURF
 - 3 BUFFER / SCREEN PLANTING TO LOADING DOCK
 - 4 PROPOSED SHADE TREE TO PROVIDE AMENITY TO CARPARKING BAYS
 - 5 BUFFER PLANTING TO STORMWATER EASEMENT BATTERS
 - 6 REFER CIVIL ENGINEERS DRAWINGS FOR STORMWATER INFRASTRUCTURE DETAILS
 - 7 EXISTING TABLE DRAIN / PROFILE TO BE RETAINED



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B	REVISED ISSUE	KVW	06.06.18

JANAM DEVELOPMENT PROJECTS
106 FE WALKER STREET, KEPNOCK
LANDSCAPE CONCEPT PLAN
SECTIONS - SHEET 2

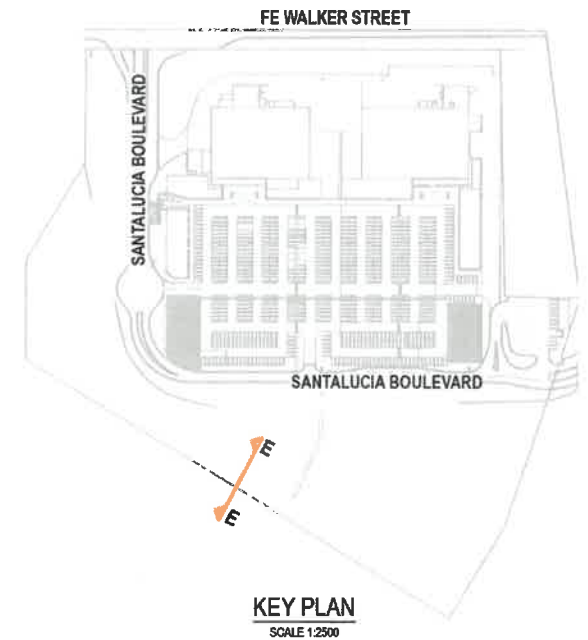


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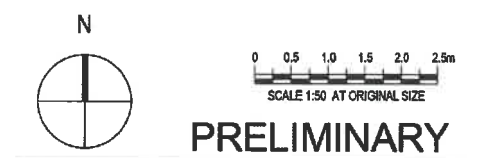
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date | JULY 2018 rev no. | C

approved.. E. NICHOLAOU* SK011



- ANNOTATION NOTES**
- 1 EXISTING GRASSED AREA
 - 2 TREE BUFFERING ALONG SOUTH BOUNDRY TO PROVIDE VISUAL SCREEN. TREES TO BE PLANTED AT A MINIMUM OF 5m SPACINGS. TREES AS PER PLANT SPECIES LIST ON DRAWING 1803-019-SK030
 - 3 REFER CIVIL ENGINEERS DRAWINGS FOR STORMWATER INFRASTRUCTURE DETAIL
 - 4 MAINTAIN 10m MIN CLEARANCE FROM EXISTING STORMWATER INFRASTRUCTURE
 - 5 1.8m HIGH TIMBER PALING FENCE ON SOUTHERN PROPERTY BOUNDARY



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JANAM DEVELOPMENT PROJECTS
106 FE WALKER STREET, KEPNOCK
LANDSCAPE CONCEPT PLAN
SECTIONS - SHEET 3

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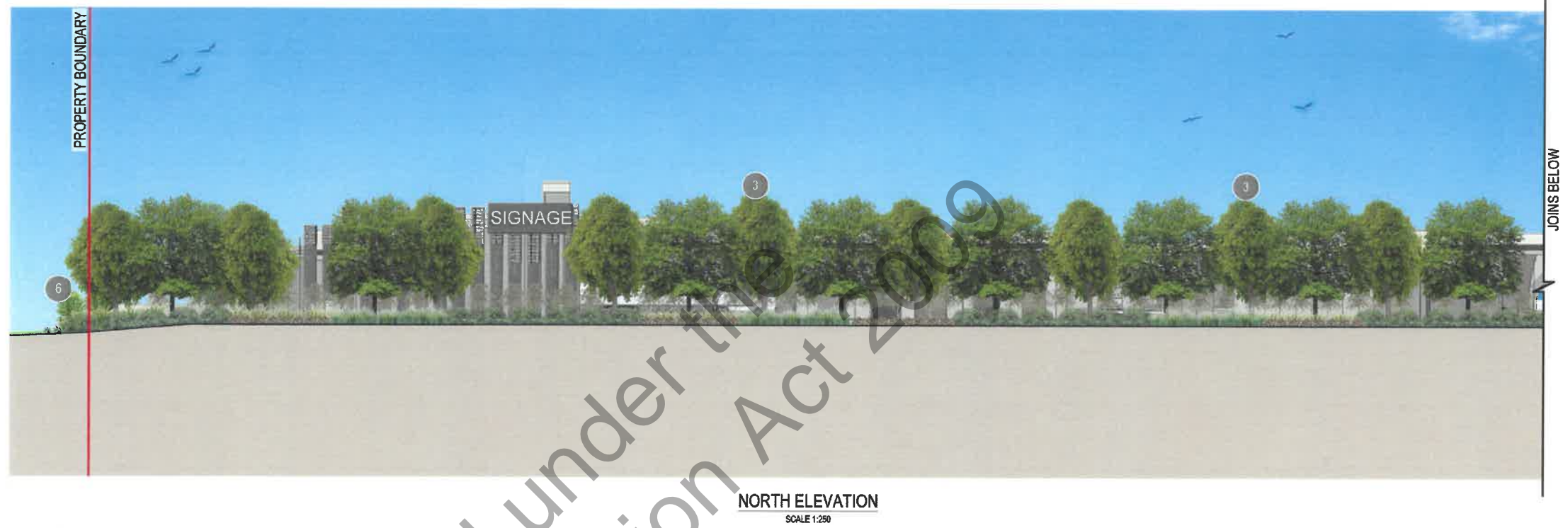
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ANNOTATION NOTES

- 1 PROPOSED SHADE/CANOPY STREET TREE
- 2 FEATURE TREE AND GROUNDCOVER PLANTING TO SANTALUCIA BLD MEDIAN
- 3 BUFFER / SCREEN PLANTING TO LOADING AREAS
- 4 PROPOSED SHADE TREE TO PROVIDE AMENITY TO CARPARKING BAYS
- 5 BUFFER PLANTING TO STORMWATER EASEMENT BATTERS
- 6 BUFFER PLANTING TO NORTH EAST PROPERTY BOUNDARY
- 7 FE WALKER PYLON SIGN WITH LOW GROUNDCOVER PLANNING TO BASE



NORTH ELEVATION
SCALE 1:250



NORTH ELEVATION
SCALE 1:250



PRELIMINARY

rev	description	drawn	date
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JANAM DEVELOPMENT PROJECTS
KEPNOCK CENTRAL, BUNDABERG
LANDSCAPE CONCEPT PLAN
ELEVATIONS - SHEET 1



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date | JULY 2018 rev no. | A

approved | E. NICHOLAOU* SK020



WEST ELEVATION
SCALE 1:250

ANNOTATION NOTES

- 1 PROPOSED SHADE/CANOPY STREET TREE
- 2 FEATURE TREE AND GROUND COVER PLANTING TO DEFINE SITE ENTRY
- 3 BUFFER / SCREEN PLANTING TO CARPARK / DRIVEWAY LOADING AREAS
- 4 PROPOSED SHADE TREE TO PROVIDE AMENITY TO CARPARKING BAYS
- 5 BUFFER PLANTING TO STORMWATER EASEMENT BATTERS
- 6 SOUTHERN PROPERTY BOUNDARY BUFFER PLANTING
- 7 OUTDOOR DINING WITH CASCADING PLANTING HANGING FROM SUSPENDED PLANTERBOXES



WEST ELEVATION
SCALE 1:250



PRELIMINARY

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JANAM DEVELOPMENT PROJECTS
KEPNOCK CENTRAL, BUNDABERG
LANDSCAPE CONCEPT PLAN
ELEVATIONS - SHEET 2



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SOUTH ELEVATION
SCALE 1:250



SOUTH ELEVATION
SCALE 1:250

ANNOTATION NOTES

- 1 PROPOSED SHADE/CANOPY STREET TREE
- 2 FEATURE TREE AND GROUND COVER PLANTING TO SANTALUCIA BLD MEDIAN
- 3 BUFFER / SCREEN PLANTING TO NORTH EAST PROPERTY BOUNDARY



PRELIMINARY

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JANAM DEVELOPMENT PROJECTS
KEPNOCK CENTRAL, BUNDABERG
LANDSCAPE CONCEPT PLAN
ELEVATIONS - SHEET 3



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approved E. NICHOLAOU* SK022

PROPOSED PLANT SPECIES SCHEDULE

CODE	PLANT SPECIES	COMMON NAME	CENTRES (mm)	POT SIZE
TREES				
AGA rob	AGATHIS robusta	Kauri Pine	AS SHOWN	100L
BRA pop	BRACHYCHITON populneus	Kurrajong	AS SHOWN	45L
BUC cel	BUCKINGHAMIA celcissima	Ivory Curl	AS SHOWN	45L
CAL gla	CALLISTRIS glaucophylla	White Cypress	AS SHOWN	45L
COR cla	CORYMBIA clarksoniana	Clarkson's Bloodwood	AS SHOWN	45L
CAS bre	CASSIA brewsteri	Brewster's Cassia	AS SHOWN	45L
HAR pen	HARPULLIA pendula	Tulipwood	AS SHOWN	45L
ELA emu	ELAEOCARPUS emundii	Eumundii Quandong	AS SHOWN	45L
EUC pop	EUCALYPTUS populnea	Popular Box	AS SHOWN	45L
MAG gra	MAGNOLIA grandiflora	Magnolia	AS SHOWN	45L
PLU obt	PLUMERIA obtusa	White Frangipani	AS SHOWN	25L
WAT flo	WATERHOUSEA floribunda	Weeping Lilly Pilly	AS SHOWN	45L
SHRUBS				
ACA pod	ACACIA podalyriifolia	Queensland Silver Wattle	AS SHOWN	200mm
CAL INJ	CALLISTEMON 'Injune'	Pink Bottle Brush	AS SHOWN	200mm
COR RUB	CORDYLINE fruticosa 'Rubra'	Cordyline Rubra	700mm	200mm
ELA PD	ELAEOCARPUS reticulatus 'Prima Donna'	Blueberry Ash	AS SHOWN	25L
ERE lon	EREMOPHILA longifolia	Emu Bush	500mm	140mm
GAR FLO	GARDENIA augusta 'Florida'	Gardenia	750mm	300mm
GRE MOO	GREVILLEA 'Moonlight'	Pale Yellow Grevillea	750mm	300mm
GRE NK	GREVILLEA 'Ned Kelly'	Grevillea	750mm	300mm
MEL CT	MELALEUCA linariifolia 'Claret Tops'	Claret Tops	750mm	300mm
SYZ aus	SYZYGIUM australe	Lilly pilly	1000mm	25L
WES JG	WESTRINGIA futicosa 'Jervis Gem'	Costal Rosemary	750mm	300mm
GROUNDCOVERS				
ERE mac	EREMOPHILA maculata	Spotted Native Fuchsia	500mm	140mm
GRE RM	GREVILLEA poorinda 'Royal Mantle'	Royal Mantle	750mm	300mm
DIE bic	DIETES bicolor	Yellow Wild Iris	500mm	140mm
DIE gra	DIETES grandiflora	Large Wild Iris	500mm	140mm
IXO PM	IXORA 'Pink Malay'	Ixora	500mm	140mm
IXO MY	IXORA 'Maui Yellow'	Ixora	500mm	140mm
LIR EG	LIRIOPE muscari 'Evergreen Giant'	Evergreen Giant	500mm	140mm
LIR SW	LIRIOPE muscari 'Stripey White'	Stripey White	500mm	140mm
LOM lon	LOMANDRA longifolia	Mat Rush	750mm	140mm
MYO ell	MYOPORUM ellipticum	Boobialla	750mm	140mm
CLIMBERS				
IPO hor	IPOMOEA horsfalliae	Climbing Ipomoea	300mm	300mm
PAN pan	PANDOREA pandorana	Pandorea	300mm	300mm
TRA jas	TRACHELOSPERMUM jasminoides	Star Jasmine	300mm	300mm
ESTABLISHED PLANTING				
ALL spp	ALLOCASUARINA species	Sheoak	AS SHOWN	25L
EUC tes	EUCALYPTUS tessellaris	Moreton bay Ash	AS SHOWN	25L
BAC myr	BACKHOUSIA myrtifolia	Grey Myrtle	AS SHOWN	25L
BAN rob	BANKSIA robur	Swamp Banksia	1500mm	25L
MEL cit	MELALEUCA citrinus	Lemon Scented Bottle Brush	1500mm	25L
MEL qui	MELALEUCA quinquenervia	Paperbark Tea Tree (broadleaf)	AS SHOWN	25L
MEL vim	MELALEUCA viminalis	Weeping Bottlebrush	AS SHOWN	25L
MEL vir	MELALEUCA viridiflora	Broadleaf Paperbark	AS SHOWN	25L
CAR app	CAREX appressa	Tussock Sedge	400mm	tubestock
FIC nod	FICINEA nodosa	Knobby Club Rush	400mm	tubestock
LOM hys	LOMANDRA hystrix	Mat Rush	400mm	tubestock
JUN usi	JUNCUS usitatus	Common Rush	400mm	tubestock
GRASS				
TURF	CYNODON dactylon	Green Couch		

NOTES

1. REFER TO LANDSCAPE CONCEPT PLAN 1803-019-SK002, SK003 & SK004 FOR PLANTING ARRANGEMENT CONCEPT DESIGN PLAN
2. REFER TO CIVIL ENGINEERS DRAWINGS FOR DRIVEWAY AND RETAINED CROSSOVER DETAILS
3. REFER TO ARCHITECTS DRAWINGS FOR ALL FENCE DETAILS
4. LANDSCAPE DETAILED DESIGN IS TO BE COORDINATED WITH HYDRAULIC AND ENGINEERING DESIGN TO CONFIRM LOCATIONS OF UNDERGROUND SERVICES PRIOR TO CONSTRUCTION
5. LANDSCAPE GENERAL STANDARDS
 - 5.1 SOIL TO AS 4419 PLANTING BEDS CULTIVATION MINIMUM DEPTH 100mm
 - GRASSED AREAS (TURF) 150mm PLANTING AREAS 150mm. SOURCE IMPORT TOP SOIL THAT COMPLIES WITH AS 4419.
 - 5.2 MULCH TO AS 4454 PROVIDE MULCH WHICH IS FREE OF DELETERIOUS AND EXTRANEIOUS MATTER SUCH AS SOIL, WEEDS AND STICKS.
 - 5.3 STAKE SIZES FOR PLANTS 1-2.5m HEIGHT TWO 50 x 50 x 1800mm STAKES PER PLANT PROVIDE TIES FIXED SECURELY TO THE STAKES, ONE TIE AT HALF THE HEIGHT OF THE MAIN STEM, OTHERS AS NECESSARY TO STABILISE PLANT. FOR PLANTS <2.5m HIGH 50mm HESSIAN WEBBING STAPLED TO THE STAKES.

PROPOSED TREE SPECIES



PROPOSED SHRUBS, GROUNDCOVERS AND CLIMBERS



PRELIMINARY

A	INITIAL ISSUE	FD	30.07.18
rev	description	drawn	date

JANAM DEVELOPMENT PROJECTS
 KEPNOCK CENTRAL, BUNDBERG
LANDSCAPE CONCEPT PLAN
 PLANT SCHEDULE, IMAGES & NOTES



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scale NTS for A1 job no. 1803-019
 date JULY 2018 rev no. A

approved E. NICHOLAOU* SK030

TO:	Erin Clark
FROM:	Adam Johnston (Senior Development Engineer)
DATE:	8/08/2016

APPLICATION NO.	322.2016.45820.1
PROPOSAL	Material Change of Use for General Business
PROPERTY DESCRIPTION	Lot: 900 SP: 261837
ADDRESS	106 FE Walker Street KEPNOCK
PLANNING SCHEME	Bundaberg Regional Council Planning Scheme 2015
ZONING	District Centre Zone

a. ISSUES RELEVANT TO THE APPLICATION

The following significant issues have been identified in the assessment of the application:

- Refer to the internal referral, codes for further explanation.

b. RECOMMENDATION

ATTACHMENT 1 CONDITIONS AND ADVICES IMPOSED BY THE ASSESSMENT MANAGER

PART 1A – CONDITIONS IMPOSED BY THE ASSESSMENT MANAGER

Construction Management

9. Unless otherwise approved in writing by the Assessment Manager, do not undertake building work in a way that makes audible noise:
 - a. On a business day or Saturday, before 6.30 am or after 6.30 pm; or
 - b. On any other day, at any time.
10. Contain all litter, building waste and sediments on the building site by the use of a skip/s and any other reasonable means during construction to prevent release to neighbouring properties or roads.
11. Remove any spills of soil or other material from the road or gutter upon completion of each day's work, during construction. These material spills and accumulated sediment deposits must be managed in a way that minimises environmental harm and/or damage to public and private property.
12. A detailed construction management plan (CMP) is to be prepared and submitted to the Assessment Manager for endorsement in association with the Operational Works application of each stage of development, detailing the construction methodology and controls to be employed to manage potential off site impacts relating to noise, dust, or other emissions, sediment and erosion controls and other identified impacts to receiving environments external to the development site.
13. Comply with the approved CMP during all construction phases of the development.

Earthworks/Spoil/Stockpile

14. The subject land must at all times be left in a clean and tidy state with no spoil or stockpiles of any kind from earthworks, roadworks, drainage works, or alike, or

construction waste to be left within the balance area. Further all disturbed areas must be topsoiled and grassed within a maximum period of 12 months.

Vegetation Clearing

26. Restrict vegetation removal to the trees identified on the Approved Plans.
27. Chip, mulch or dispose of cleared vegetation at a Council approved green waste disposal facility or salvage timber for reuse. No burning of cleared material is permitted unless otherwise approved in writing by the Assessment Manager.

Roadworks, Access, Car Parking

38. Dedicate a new road reserve as part of the first stage of development on the subject land sufficient to contain the new collector road, with the development site and balance area to be retained as one lot – unless otherwise approved by a subsequent reconfiguring a lot permit. The new road reserve must be generally as indicated on Thomson Adsett Proposed Site Plan – Retail Level – Stage 3 - Complete – Plan No. DA0.102L, with a minimum reserve width of 20 metres (augmented to accommodate the bus set down area as necessary). Such new road reserve must also align with and be contiguous to the western road reserve of Santalucia Boulevard.
39. Construct new roads within the new road reserve generally as indicated on Thomson Adsett Proposed Site Plan – Retail Level – Stage 3 - Complete – Plan No DA0.102L (the Plan) and to the following requirements:
 - a. All roadways must be sealed with asphaltic concrete;
 - b. Provide concrete kerb and channelling on each side of all roadways to the relevant standard;
 - c. The roadway must be constructed to a collector street standard, but with a pavement width of 11.1 metres;
 - d. Right turn auxiliary lanes as listed on the Plan and the Stage 2 two-way access driveway, unless as listed in condition 45;
 - e. Provision of a temporary bus stop area in Stage 1, with the permanent stop area pursuant to the requirements of Condition 40;
 - f. The pavement is to be designed in accordance with Austroads Pavement Design for Light Traffic: A supplement to Austroads Pavement Design Guide (AP-T36/06). The pavement specifics shall be determined at the Operational Works Stage; and
 - g. connect smoothly to and align with the existing section of Santalucia Boulevard.
40. Construction of the road required by Condition 39 may be staged in accordance with the approved staging plan. Where the entire road is not completed prior to commencement of the use of Stage 1 of the development, construct a partial roadway from the stage 1 boundary to the eastern boundary of the constructed portion of Santalucia Boulevard. The partial roadway section must be:
 - a. Constructed to a minimum width of seven (7) metres;
 - b. Sealed with a prime and two (2) coat seal;
 - c. Line-marked with a centreline;
 - d. Provided with table drains to convey up to Q100 ARI, or such lesser standard as approved by the Assessment Manager; and

- e. Designed in accordance with Austroads Pavement Design for Light Traffic: A supplement to Austroads Pavement Design Guide (AP-T36/06). The pavement specifics shall be determined at the Operational Works Stage.

The partial road must be replaced by the full constructed road required by condition 39 prior to the commencement of the use of stage 3 or 5 years after commencement of **use of stage 1**, whichever is the earlier.

41. The minor access to the proposed service station must be restricted to a left-in, left-out only.
42. The access driveway adjacent to tenancy 1 must:
 - a. No right-turn out, unless approved otherwise by the Assessment Manager; and
 - b. must limit delivery times **to outside normal operating hours**.
43. The loading area commercial driveway (lower level driveway adjacent to the FE Walker St intersection) must:
 - a. be constructed in a manner that limits its use to commercial vehicles only; and
 - b. restricts its use to a left-out exit only.
44. At the interface of ramps and lower carpark level at Stage 1 and Stage 3 either:
 - a. provide medians, linemarking and signage to stop the left turn (north bound – down ramp) turn manoeuvre; or
 - b. provide a 0.6 metre truncation/clear turning area in the building retaining wall with a combination of mirrors to provide adequate sight distance in accordance with AS/NZS2890.1-2004: 'Parking Facilities Part 1: Off-street Car Parking'.
- 45. Prior** to the submission of the stage 3 operational works:
 - a. Submit for approval by the Manager Development Assessment a traffic impact assessment (TIA) for access to the underground parking area, the stage 1 and 3 access point and the intersection adjacent to the service station, with such works to become part of the Development Approval; and
 - b. Incorporate such additional works in the relevant application for operational works as are deemed necessary by the TIA.
46. Provide off-street car parking and vehicle manoeuvring area for a total of 884 car parks and associated loading bays generally in accordance with Thomson Adsett Site Plan series DA1110 (K), DA1112 (F), DA2110 (I), DA3.110 (I) and DA3.112 (D) drawings progressively for each Stage of development (Stage 1 – 377 spaces (lower level and at retail level as indicated on); Stage 2 – 7 spaces (Service Station); Stage 3 – 500 spaces (lower level and at grade). Such car parking, access and manoeuvring areas must be:-
 - a. Constructed and sealed with bitumen, asphalt, concrete or approved pavers;
 - b. Line-marked into parking bays;
 - c. Designed to include a manoeuvring area to allow vehicles to leave the site in a forward gear;
 - d. Designed to include the provision of fill and/or boundary retaining walls to allow for the containment and management of site stormwater drainage as required;
 - e. Sign posted to indicate entry / exit points, in addition to line marking, to indicate the traffic flow through the site;
 - f. Drained to the relevant site discharge point;

- g. Be available free-of-charge to staff and customers during operating hours;
 - h. Be restricted for the first forty-two metres of the central retail level parking to only all day staff parking (to manage queuing conflicts); and
 - i. Designed in accordance with AS/NZS2890.1-2004: 'Parking Facilities Part 1: Off-street Car Parking'.
47. As part of the Stage 1 of the development operational works demonstrate how the pedestrian crossing from Scherer Boulevard will adequately address pedestrian safety, with special attention to the left-out vehicle movement.

Pedestrian

48. Pedestrian facilities are to be provided generally in accordance with Thompson Adsett *Site Access and Mobility Plan* DA1104 G, modified to exclude the provision of a footpath in FE Walker Street past the signalised intersection. For works within the road reserve, those works must be undertaken in accordance with an Operational Works approval and must include a 1.5 metre (minimum) concrete ribbon pathway and pram ramps. Such paths must be generally in accordance with Council's drawing 13977 except for the temporary connection between Stages 1 and the eastern pedestrian path in Santalucia Boulevard, which may be cracker dust or equivalent.
49. As part of Stage 3 of the development construct a 2.0 metre wide concrete ribbon footpath and associated pram ramps providing a pedestrian and bicycle link between Scherer Boulevard and the shopping centre development (the "Scherer Boulevard Pedestrian Access") as depicted on approved plan - Thomson Adsett Site Plan series DA0.102L.
50. As part of Stage 3 of the development dedicate an easement for public pedestrian and cycle access sufficient to contain the new pathway as in condition 49.

End of Trip Facilities – Cycle Parking

30. Install and maintain 13 secure bicycle parking spaces for employees and 13 secure bicycle parking spaces for customers as part of Stage 1 of the development and an additional two (2) spaces for Stage 2. At the completion of Stage 3 of the development, a minimum of 35 secure bicycle parking spaces for employees and 35 secure bicycle parking spaces for customers (including the 26 spaces required as part of Stage 1 and 2 spaces for Stage 2) must be installed and maintained on the site. Customer cycle parking must be located in a visible area close to the entrance of each building.
31. Provide one (1) locker for every two (2) staff cycle parking spaces at convenient location/s within the shopping centre facility.
32. Provide informational and directional signage where necessary to direct cyclists to bicycle parking spaces and advise the public of their presence.

External Storage of Materials

33. Ensure goods, equipment, packaging material or machinery is not stored or left exposed outside the building so as to be visible from any public road or thoroughfare. Any storage on site is required to be screened from view from all roads and adjacent properties and must be above levels of inundation from both flood and localised events.

Loading/Unloading

34. Loading and unloading of all vehicles associated with the use must occur on the subject site. Loading and unloading is not to occur in the areas specified for taxis and set-downs.

Water

35. Provide reticulated water supply, hydrants, fittings and fixtures to each stage prior to the commencement of use of that stage. Also undertake network modelling to determine main sizing for all stages in association with the first Operational Works approval. Such modelling must include all necessary upgrades of Council infrastructure to ensure that downstream properties are not adversely affected by the increased demand of the proposed development.
36. Provide a metered service, and internal infrastructure as required, satisfying the fire-fighting and water supply demands of the development.

Sewerage

- SE2 At Stage 1, provide a new sewerage connection suitable to meet the requirements of the development. All live sewer work, including the point of connection, must be undertaken by Council.
- SE4 All sewerage infrastructure must be clear of all proposed and existing buildings. Detailed design of the new sewerage infrastructure and its alignment must be determined at Stage 1 prior to the commencement of the detailed stormwater design and any subsequent works must be part of an application for Operational Works.
- SE6 Except where perpendicular to or intersecting with a property boundary, a sewer main must not be situated closer than 1.5 metres to a property boundary, unless otherwise approved by the Assessment Manager.

Electricity, Street lighting and Telecommunications

51. Enter into an agreement with an approved electricity provider, to ensure that underground electricity will be available to the development site.
52. Street lighting to new roads, multi-modal pathways and intersections must be by way of provision of underground conduits and cables, poles and street lights. The design and provision of street lighting must be in accordance with Australian Standard 1158:2005. The applicable lighting category is V4 for all roadways.
53. Telecommunication conduits (ducts) and pits, including trenching and design, must be provided to service the development in accordance with 'Fibre-Ready' standards or the NBN Co Installing Pit and Conduit Infrastructure - Guidelines for Developers, to the satisfaction of the Assessment Manager.

Groundwater Bore

54. The groundwater bore within the subject land must be either decommissioned by a licensed water bore driller or be re-commissioned to the satisfaction of the

Department of Natural Resources and Mines. If the bore is re-commissioned such works must be integrated within the surrounding landscaping. Works associated with the bore are to be completed in association with Stage 1 of development.

Stormwater

- 37.** Install a stormwater drainage system connecting to a lawful point of discharge. The works must be undertaken in accordance with an Operational Works approval and the Queensland Urban Drainage Manual. The works must also:
- a. Incorporate the works described in section 6 – 8 and the drawings appendix C of the Opus Site Based Stormwater Management Report (revision H) modified to accommodate the 2D XP SWMM modelling outcomes described herein;
 - b. Include the registration of a new or modified Easement II in lot 100 on SP 179035 (the “New Easement”) to incorporate works and overland flow paths in that Easement;
 - c. Have low maintenance batter planting for batters steeper than 1 in 5 within existing or the New Easement;
 - d. Include internal stormwater drainage designed and constructed in accordance with the requirements of the Queensland Urban Drainage Manual and Bundaberg Regional Council, i.e., a piped system with a capacity to cater for 10 ARI flows, with overland flowpaths to be provided for a capacity of Q100ARI less piped flow;
 - e. Demonstrate unimpeded flows from adjacent properties;
 - f. Provide detention storage that will cater for the increased stormwater runoff from the premises so that the discharge from the subject land is limited to pre-development generated peak levels up to and including Q100 ARI flows;
 - g. Demonstrate how the internal works, basins and WSUD treatments will be maintained by the property owner to best practice standards with a high level of visual amenity at all times for the duration of the approval;
 - h. Incorporate the requirements of DTMR;
 - i. Be designed in a manner that does not direct stormwater flows to Lot 1 on SP 172085 being 128 Walker Street; and
 - j. Prior to the submission of operational works for the first stage of the development show how the premises will maintain the pre-development flow regimes both upstream and downstream of the subject land incorporating the requirements listed above and as such the following must be provided with the first operational works application:-
 - i. A detailed bulk earthworks and drainage layout plan for the proposed works within the subject land. This bulk earthwork and drainage layout plan will then form the basis of the Approved Works Plan;
 - ii. A 2D XP SWMM model incorporating rainfall events up to the Q100 ARI event (inclusive of climate change). Such modelling must also demonstrate that the Approved Works:
 - A. Incorporate as much flood storage as possible;
 - B. Incorporates flows from upstream catchments, including but not limited to, the overland flows from the catchment south of Kepnock road;

- C. Makes provision for the future diversion works of the 3/600 RCP pipes and associated works to an outlet approximately 30 metres downstream of the current location and the provision of inlet pits to the existing stormwater manholes, if works have not already been undertaken by Council;
 - D. Demonstrates staging for any works;
 - E. Outlines any works within the State-controlled road reserve;
 - F. Models and caters for blockages to the outlet pipes in accordance with *Queensland Urban Drainage Manual* guidelines;
 - G. Ensure that any inundated pedestrian areas (affected by cross road flows as well) have a $d \cdot V \leq 0.4 \text{ m}^2/\text{s}$;
 - H. the maximum depth at the kerb in the Major event is less than or equal to 250mm; and
 - G. Demonstrates how the premises will maintain predevelopment parameters in the areas of flood and stormwater hazard, including but not limited to maintaining depths, hydraulic grade lines and peak flows of stormwater for properties external to the development site;
- k. At the successful outcome of **condition 37a - j**, provide to Council a 'Kepnock Centre Drainage Study' report that clearly enunciates, inclusive of all electronic models the method and outcomes of the 2D XP SWMM modelling for pre- and post- development inclusive of each stage of the development.

Water Sensitive Urban Design

- ST4 The drainage system for the development must incorporate Stormwater Quality Improvements in accordance with the State Planning Policy July 2014, the Bundaberg Regional Council Stormwater Management Strategies and generally as set out in the Opus Site Based Stormwater Management Report (revision H). A Site Based Stormwater Management Plan and Erosion and Sediment Control Management Plan, inclusive of long term maintenance measures, must be submitted as part of an application for Operational Works outlining how the Stormwater Quality Improvements in both the construction and operational phases of the development will be achieved.

Easements

- EA1 Lodge for registration at the office of the Land Registry the following easement(s):
- a. a stormwater drainage easement having a minimum width of **five (5) metres or such greater width as determined in an application for Operational Works**, whichever is the greater, to the benefit of Council that includes:
 - i. Q100 ARI stormwater overland flow paths traversing the site;
 - ii. any stormwater main existing or proposed to traverse the land;
 - b. a sewerage easement having a minimum width of **three (3) metres** to the benefit of Council that includes any sewerage main existing or proposed traversing the land located within the easement and a minimum of one (1) metre from the easement boundary;

- EA2 Draft easement documentation must be submitted to the Assessment Manager for endorsement.
- EA3 All works must be kept clear of any existing or proposed easements on the subject land, unless agreed otherwise in writing by the Grantee. All costs associated with the modification, amendment or revision of existing easements will be at the Developer's expense.
- EA4 Ensure that any easements and rights pertaining to the parcels of land associated with this approval are maintained unless otherwise stated on the Approved Plans or the conditions of this approval. Proof of the registration or surrender of any easements are to be submitted to the Assessment Manager at the time of the submission of a Plan of Subdivision for compliance assessment and signing.

PART 1B – ADVICE NOTES

Infrastructure Charges Notice

- A. Please find attached the Infrastructure Charges Notice (Ref No.: 331.2016.837.1) applicable to the approved development.

c. ENDORSEMENT

Report prepared by: Adam Johnston (Senior Development Engineer)

Signed:

Released under the
Right to Information Act 2009

TO:	Erin Clark
FROM:	Adam Johnston (Senior Development Engineer)
DATE:	24 June 2016

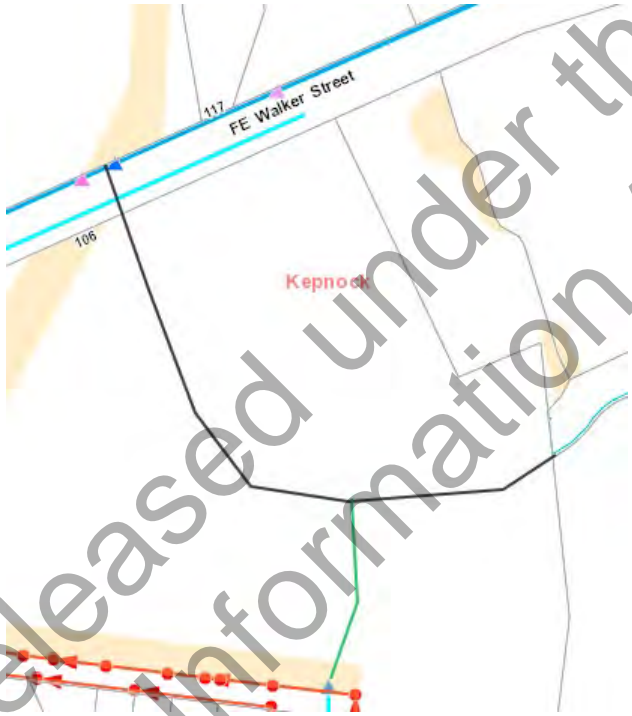
APPLICATION NO.	322.2016.45820.1
PROPOSAL	MCU for General Business
PROPERTY DESCRIPTION	Lot: 900 SP: 261837
ADDRESS	106 FE Walker Street KEPNOCK
PLANNING SCHEME	Bundaberg Regional Council Planning Scheme 2015
ZONING	District Centre Zone

1. ISSUES RELEVANT TO THE APPLICATION

The following significant issues have been identified in the assessment of the application:

Further Issues

Item	Code	Description	Further Required	Action
1	Works, Services and utilities code P04 & P05	Sewerage – IL upstream on southern side of the road is 6.637. The minimum slope on a 225 pipe is 0.33% meaning the pipe invert is 6.937. The invert of the drain in 6.85. Meaning any hydraulic model will have to lift to outlet to provide sewerage to the site and ensure that development near the stormwater and Sewerage is protected from physical damage.		Action: Please request further clarification. Applicant to confirm that the site can be sewered in conjunction with the stormwater
2	Transport and parking code (TPC) P01	Onsite circulation is safe – a. Left turn from two vehicle ramp to below ground may not have sufficient turning width to accommodate cars without them having to cross the centreline of the road and may not have sufficient safety to allow anything but left out at the eastern parking bays b. Queue lengths at main entrance may not be sufficient to accommodate traffic from the east on Sanalucia Drive – may		a. Need turning template for vehicle shown and site triangles. b. Traffic into middle entrance is estimated at requiring a queue of 7 car parks

		require parking for staff only until adequate queue length is achieved.	<p>meaning 42 metres clear queue.</p> <p>Action: Please request further clarification. Suggested send question about both to traffic engineers to seek clarification or condition</p>
3	<p>Works, Services and utilities code</p> <p>P03 & P04</p>	<p>Water: Providing infrastructure that meets future needs of the development and efficiently extends existing networks</p> 	<p>Intend to condition that the water supply loops into Santalucia Boulevard and Scherer boulevard. Requires a slight modification of the previous condition to articulate the intended reticulation</p> <p>Action: Please request further clarification and inform of intent to condition the looped system with easement through Scherer Boulevard from Santalucia Boulevard until road reserve provided.</p>
	<p>Service Station Code – P05</p>	<p>The intent of this condition is that the service station does not impair traffic flow or road safety.</p>	<p>Condition 41 of the 325 approval dealt with this through a left in left out. The current configuration is noted</p>

	<p>&</p> <p>Transport and parking code (TPC) P01</p>		<p>on the plan as exit and left turn only.</p> <p>It does not specifically note the above requirement as the note is somewhat ambiguous.</p> <p>Accordingly a condition will be required on this approval.</p> <p>No further action required.</p>
	<p>Flood Hazard Code P09</p>	<p>Development does not directly or indirectly change flood characteristics which may cause adverse impacts external to the development.</p> <p>This performance outcome is considered in the OPUS report which is rudimentary in nature. For example, the contributing catchment is not correct and ignores the catchment to the south of Kepnock drive. Council has undertaken extensive modelling of the proposal and with tweaking the proposed works can be made to cater for the flows. Through the provision of widening of the drain, detention storage at the west of the subject land (bioretention basin) and further storage at the front of the site.</p>	<ul style="list-style-type: none"> • Condition about “maximising the flood storage volume”; noting this is a backwater that will not have a material effect on the river flood event, • Conditions pertaining to the provision of works generally in accordance with the Revision H SBSMP will be supplied with the approval. Such conditions will include the necessity to model the design in 2D format and updating plans to include as constructed information to Santalucia Boulevard. <p>no further action.</p>

<p>Transport and Parking Code P01</p>	<p>Number of Car Parks/bike spaces were calculated in accordance with gross leasable floor area (GLFA) at a rate of 1 car park per 20 m². This is an equivalent to Total Use Area, meaning it removes lunch rooms, washrooms, toilets etc. It does not strictly accord with the current definition in the code, however, it is agreed that given the magnitude of the project – such a distinction would accord with the intent of the performance outcome.</p> <p>EOT facilities: 34 secure spaces below ground and 52 spaces on site to achieve the total number required. This does not accord with the previous approval that had a total of 70 secure bicycle spots. It is suggested that the condition should be 68 secure spaces consisting of minimum 34 spaces in the lower carpark dedicated to staff 34 as required and a further 18 spaces on site at appropriate location.</p>	<p>Condition total car parks 855 (note table 3.2 in the cambray report is incorrect at 883 spaces), stage 1 – 377 which is proposed (326 required), Stage 2 – an additional 7 car parking spaces at the service station area or its immediate surrounds, and the balance being 471 spaces in Stage 3.</p> <p>EOT facilities: 82 bicycle spaces: consisting of minimum 34 secure spaces in the lower carpark, and a further 34 secure spaces and 18 spaces on site to achieve.</p> <p>Stage 1 must consist of 20 secure for staff and 10 secure for public and 4 at other locations. Stage 2 – 1 for the service station and Stage 3 provides the balance.</p> <p>can be conditioned</p>
<p>Transport and Parking Code P02</p>	<p>Item (h): Development provides for the dedication and construction of roads where required to allow access to and proper development of adjoining land.</p>	<p>Stage 1 dedication of the road reserve, kerb and channel both sides and connection to Santalucia Boulevard.</p> <p>Access to Scherer boulevard for pedestrians through an easement.</p>

			Stages 2 & 3 completion of Santalucia Boulevard can be conditioned
	Transport and Parking Code P03	Item (j) speaks to the need to ensure that the development minimises any adverse impacts on the existing network. The salient intersection for Council is Kepnock Road and Greathead Road. The design horizon includes an allowance for the Masters site and shows that the intersection for Thursday and Saturday is adequate.	can be conditioned
	Transport and Parking Code P03	Provides safe and convenient network of pedestrian and bicycle paths. The proposed pedestrian path on Santalucia Boulevard is not safe and must be moved to the west of the access.	can be conditioned

2. RECOMMENDATION

Please ask for further information for items 1 to 3.

3. ENDORSEMENT

Report prepared by Adam Johnston (Senior Development Engineer)

Signed:

Amy Crouch

From: Development
Sent: Wednesday, 29 August 2018 4:55 PM
To: 'ben@planning-initiatives.com'
Cc: Michael Ellery
Subject: Change application - 106 FE Walker Street, Kepnock
Attachments: 68 - Letter to applicant re_ change application submission - 106FE Walker Street - 27082018 (A3778515).pdf

Good afternoon Ben,

Thank you for your submitted material for a Change Application lodged with Council on 13 August 2018.

Upon review of your application Bundaberg Regional Council has determined further information is needed prior to a determination of the type of Change application. Please find attached Council's correspondence to this effect.

Should you require any clarification regarding this matter, or wish to schedule a meeting, please contact Michael Ellery or myself on phone 1300 883 699.

Kind Regards,

ERIN CLARK

Principal Planner

T 1300 883 699 M 0429 269 284

E erin.clark@bundaberg.qld.gov.au



Released under the
Right to Information Act 2009

29 August 2018

Janam Pty Ltd
C/- Planning Initiatives
via email: ben@planning-initiatives.com

Attn: Mr Ben Cowan

Dear Sir

RE: – Change Application for Minor Change – Material Change of Use for Shopping centre and Service station, Operational Works for Advertising device at 106 FE Walker Street KEPNOCK; land described as Lot: 900 SP: 261837;
– Bundaberg Regional Council Planning Scheme 2015.

I refer to the above-described Change Application, lodged at Council on 13 August 2018.

Council has reviewed the documentation lodged as part of your Change application, particularly with consideration of the applicable legislation and *Development Assessment Rules* (DA Rules). In order for your application to be accepted as a Minor change (as applied for) under Schedule 2 of the *Planning Act*, the development application must not result in 'substantially different development'.

Council officers have identified a number of matters relating to the Change application that may not satisfy the relevant requirements of Schedule 1 of the DA Rules (specifically Schedule 1, Items 4(c), (e) and (g)). It is requested that further consideration be given to the items below in relation to justifying that a 'substantially different development' is not being proposed.

Hours of operation

The submitted change application seeks to increase the hours of operation from those conditioned in the development approval for a number of tenancies associated with the Shopping and centre and the Service station. In possible conflict with Schedule 1, Item 4(g) of the DA Rules, this proposed increase in the hours has the potential to increase the severity of known impacts, or introduce further impacts to adjoining sensitive receivers.

The request for twenty-four hour operation for some uses was originally included in the modelling for the Environmental Noise Level Impact Assessment report dated 8 June 2016 for consideration in the development approval (Council ref: 322.2016.45820.1). These matters were previously considered and some flexibility provided in the development

approval conditions. The recent submission of an amended Environmental Noise Level Impact Assessment with this Change application is acknowledged, however this item of assessment was considered as an item of interest in the original development application process. This recent request for a Minor Change application fails to demonstrate whether the severity of known impacts beyond those identified in the submitted report, which relates only to noise, will be increased. Broader nuisance impacts are likely from increased hours of operation and could include, but not limited to, lighting, odour, late night use of facilities and roads and security. With increased activity across the day, increased nuisance can be expected and this matter has not been addressed in the submitted material to clearly show this change would not result in a different development to that approved (with reference to item (g) of the DA Rules).

Landscaped boulevard and pedestrian movements

The submitted proposal plans do not include the landscaped boulevard and pedestrian link to Scherer Boulevard as previously highlighted in the pre-lodgement discussions. This landscaped link was a critical urban design, connectivity, amenity and landscaping component within the development and is noted in the current structure planning for the area. The omission of this item of development removes a component integral to the operation of the development (with reference to item 4(e) of Schedule 1), notably its connectivity with the associated catchment and adjoining residential community.

Additionally, the pedestrian environment with regards to proposed grade of the lot and entrance, including the disabled compliant access for the bus stop is a further important component of the proposed changed development which must be considered further. The proposed lowering of the car park and building footprint creates a notable change in ground level which may impact upon the operation of the pedestrian movements to the approved bus stop location on Santalucia Boulevard. It is suggested further detail is required to determine this impact.

Signage

The submitted Change application also introduces an additional advertising device to that approved in a new location on the development site. This proposed works (advertising device) would ordinarily trigger a new development application where in excess of one freestanding sign is proposed on a site.


Flooding

It is noted that within the submitted material, the proposed drainage solution results in an increase in depth of flood waters on the State-controlled road. Council officers recognise that the relevant State government department (SARA) is an affected entity to this change application and a separate application has been lodged, however this change to the proposal does not conform with respect to item (g) of the DA Rules. The increase in flood surface levels is likely to increase the severity of the known flooding impacts in the location and potentially impact on the transport network.

Council would welcome further submissions on these matters prior to a determination of the type of Change application to be processed. If you require further clarification on any of these matters, please contact either Erin Clark or myself on telephone 1300 883 699. Otherwise we look forward to your response.

Yours faithfully

Michael Ellery

 Digitally signed by Michael Ellery
Date: 2018.08.29 15:25:33 +10'00'

Michael Ellery
Group Manager Development

Released under the
Right to Information Act 2009

Amy Crouch

From: Erin Clark
Sent: Tuesday, 4 June 2019 10:26 AM
To: Michael Ellery
Subject: FW: 45820.Internal Referral.Dev Eng.Conditions Package (A2702131).docx
Attachments: 45820.Internal Referral.Dev Eng.Conditions Package (A2702131).docx

ERIN CLARK
Principal Planner
T 1300 883 699 M 0429 269 284
E erin.clark@bundaberg.qld.gov.au



From: Adam Johnston
Sent: Monday, 8 August 2016 5:59 PM
To: Erin Clark; Adam Johnston
Subject: 45820.Internal Referral.Dev Eng.Conditions Package (A2702131).docx

Conditions

Released under the
Right to Information Act 2009

TO:	Erin Clark
FROM:	Adam Johnston (Senior Development Engineer)
DATE:	8/08/2016

APPLICATION NO.	322.2016.45820.1
PROPOSAL	Material Change of Use for General Business
PROPERTY DESCRIPTION	Lot: 900 SP: 261837
ADDRESS	106 FE Walker Street KEPNOCK
PLANNING SCHEME	Bundaberg Regional Council Planning Scheme 2015
ZONING	District Centre Zone

a. ISSUES RELEVANT TO THE APPLICATION

The following significant issues have been identified in the assessment of the application:

- Refer to the internal referral, codes for further explanation.

b. RECOMMENDATION

ATTACHMENT 1 CONDITIONS AND ADVICES IMPOSED BY THE ASSESSMENT MANAGER

PART 1A – CONDITIONS IMPOSED BY THE ASSESSMENT MANAGER

Transport and Parking Code

Roadworks, Access, Car Parking

38. Dedicate a new road reserve as part of the first stage of development on the subject land sufficient to contain the new collector road, with the development site and balance area to be retained as one lot – unless otherwise approved by a subsequent reconfiguring a lot permit. The new road reserve must be generally as indicated on Thomson Adsett Proposed Site Plan – Retail Level – Stage 3 - Complete – Plan No. DA0.102L, with a minimum reserve width of 20 metres. Such new road reserve must also align and be contiguous with constructed portion of Santalucia Boulevard.
39. Construct new roads within the new road reserve generally as indicated on Thomson Adsett Proposed Site Plan – Retail Level – Stage 3 - Complete – Plan No DA0.102L (the Plan) and to the following requirements:
 - a. All roadways must be sealed with asphaltic concrete;
 - b. Provide concrete kerb and channelling on each side of all roadways to the relevant standard;
 - c. The roadway must be constructed to a collector street standard, but with a pavement width of 11.1 metres;
 - d. Right turn auxiliary lanes as listed on the Plan and the Stage 2 two-way access driveway, unless as listed in **condition 45**; and
 - e. The pavement is to be designed in accordance with Austroads Pavement Design for Light Traffic: A supplement to Austroads Pavement Design Guide (AP-T36/06). The pavement specifics shall be determined at the Operational Works Stage.

40. Construction of the road required by Condition 39 may be staged in accordance with the approved staging plan. Where the entire road is not completed prior to commencement of the use of Stage 1 of the development, construct a partial roadway from the stage 1 boundary to the eastern boundary of the subject land such that a roadway is provided that connects to the proposed link road at the adjoining boundary being Lot 1 on SP172085 and as provided in the Decision Notice for the Masters Home Improvement Store dated 2 September 2014. The partial roadway section must be:
- a. Constructed to a minimum width of seven (7) metres;
 - b. Sealed with a prime and two (2) coat seal;
 - c. Line-marked with a centreline;
 - d. Provided with table drains to convey up to Q100 ARI, or such lesser standard as approved by the Assessment Manager; and
 - e. Designed in accordance with Austroads Pavement Design for Light Traffic: A supplement to Austroads Pavement Design Guide (AP-T36/06). The pavement specifics shall be determined at the Operational Works Stage.
- The partial road must be replaced by the full constructed road required by condition 39 prior to the commencement of the use of stage 3 or 5 years after commencement of **use of stage 1**, whichever is the earlier.
41. The minor access to the proposed service station must be restricted to a left-in, left-out only.
42. The access driveway adjacent to tenancy 1 must:
- a. restricts its use to a left-out exit only; and
 - b. must limit delivery times **to outside normal operating hours**.
43. The loading area commercial driveway (lower level driveway adjacent to the FE Walker St intersection) must:
- a. be constructed in a manner that limits its use to commercial vehicles only; and
 - b. restricts its use to a left-out exit only.
44. At the interface of ramps and lower carpark level at Stage 1 and Stage 3 either:
- a. provide medians, linemarking and signage to stop the left turn (north bound) turn manoeuvre; or
 - b. provide a 0.6 metre truncation/clear turning area in the building retaining wall with a combination of mirrors to provide adequate sight distance in accordance with AS/NZS2890.1-2004: 'Parking Facilities Part 1: Off-street Car Parking'..
45. Prior to the submission of the stage 3 operational works:
- a. Submit for approval by the Manager Development Assessment a traffic impact assessment (TIA) for access to the underground parking area, the stage 1 and 3 access point and the intersection adjacent to the service station; and
 - b. Incorporate such additional works in the relevant application for operational works as are deemed necessary by the TIA.
46. Provide off-street car parking and vehicle manoeuvring area for a total of 884 car parks and associated loading bays generally in accordance with Thomson Adsett Site Plan series DA1110 (K), DA1112 (F), DA2110 (I), DA3.110 (I) and DA3.112 (D) drawings progressively for each Stage of development (Stage 1 – 377 spaces (lower level and at retail level as indicated on); Stage 2 – 7 spaces (Service Station); Stage

3 – 500 spaces (lower level and at grade). Such car parking, access and manoeuvring areas must be:-

- a. Constructed and sealed with bitumen, asphalt, concrete or approved pavers;
- b. Line-marked into parking bays;
- c. Designed to include a manoeuvring area to allow vehicles to leave the site in a forward gear;
- d. Designed to include the provision of fill and/or boundary retaining walls to allow for the containment and management of site stormwater drainage as required;
- e. Sign posted to indicate entry / exit points, in addition to line marking, to indicate the traffic flow through the site;
- f. Drained to the relevant site discharge point;
- g. Be available free-of-charge to staff and customers during operating hours;
- h. Be restricted for the first forty-two metres of the central retail level parking to staff only (for queuing purposes); and
- i. Designed in accordance with AS/NZS2890.1-2004: 'Parking Facilities Part 1: Off-street Car Parking'.

47. As part of the Stage 1 of the development operational works demonstrate how the pedestrian crossing from Scherer Boulevard will adequately address pedestrian safety, with special attention to the left-out vehicle movement,

Pedestrian

48. As part of Stage 1 of the development pedestrian and bicycle facilities must be provided for the development. The works must be undertaken in accordance with an Operational Works approval and must include a 1.5 metre (minimum) concrete ribbon pathway and pram ramps on the northern side and within the road verge for the entire length of the new collector roadway, generally in accordance with Council's drawing 13977.
49. As part of Stage 3 of the development construct a 2.0 metre wide concrete ribbon footpath and associated pram ramps providing a pedestrian and bicycle link between Scherer Boulevard and the shopping centre development (the "Scherer Boulevard Pedestrian Access") as depicted on approved plan - Thomson Adsett Site Plan series DA0.102L.
50. As part of Stage 3 of the development dedicate an easement for public pedestrian and cycle access sufficient to contain the new pathway as in condition 49.

End of Trip Facilities – Cycle Parking

30. Install and maintain 13 secure bicycle parking spaces for employees and 13 secure bicycle parking spaces for customers as part of Stage 1 of the development and an additional two (2) spaces for Stage 2. At the completion of Stage 3 of the development, a minimum of 35 secure bicycle parking spaces for employees and 35 secure bicycle parking spaces for customers (including the 26 spaces required as part of Stage 1 and 2 spaces for Stage 2) must be installed and maintained on the site. Customer cycle parking must be located in a visible area close to the entrance of each building.

31. Provide one (1) locker for every two (2) staff cycle parking spaces at convenient location/s within the shopping centre facility.
32. Provide informational and directional signage where necessary to direct cyclists to bicycle parking spaces and advise the public of their presence.

PART 1B – ADVICE NOTES

Infrastructure Charges Notice

- A. Please find attached the Infrastructure Charges Notice (Ref No.: Click & type the Charges Notice Ref No.) applicable to the approved development.

c. ENDORSEMENT

Report prepared by: Adam Johnston (Senior Development Engineer)

Signed:

Released under the
Right to Information Act 2009

Amy Crouch

From: Michael Ellery
Sent: Wednesday, 5 September 2018 4:40 PM
To: Adam Johnston
Cc: Erin Clark
Subject: FW: Kepnock Central - Minor Change Application
Attachments: RMA 180831 depth and vel - draft[2].pdf

Adam, I know you will be busy finalising things but can I get you to have a look at this tomorrow and have a chat with Erin and I (or at least Erin) about this issue.

Regards,

MICHAEL ELLERY
Group Manager Development
T 07 4130 4011 M 0428 324 011
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From: Mark Wilson [mailto:████████████████████]
Sent: Wednesday, 5 September 2018 3:19 PM
To: Michael Ellery
Cc: Erin Clark; Joseph Saunders; Andrew Santalucia; Ben Cowan
Subject: Kepnock Central - Minor Change Application

Hi Michael

Further to your correspondence of 29 August, I have raised the flooding concern with RMA for comment. They are adamant the new SWMP does not introduce a new impact or increase the severity of a known impact and have provided the attached **draft response** to justify this position. Generally the advice is the impact and severity on FE Walker St would be substantially the same and would have been there under the original SWMP.

Given the technical nature of the response I was hoping you could discuss internally with Erin and Adam to see if a formal response along the lines of that attached would satisfy Councils concerns with respect to the matter of flooding.

Should you require any further clarification please do not hesitate to contact me. I look forward to your earliest advice.

Kind regards

Mark Wilson

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BRC correspondence dated 29/August 2018.

BRC write...

Council has reviewed the documentation lodged as part of your Change application, particularly with consideration of the applicable legislation and *Development Assessment Rules* (DA Rules). In order for your application to be accepted as a Minor change (as applied for) under Schedule 2 of the *Planning Act*, the development application must not result in 'substantially different development'.

Council officers have identified a number of matters relating to the Change application that may not satisfy the relevant requirements of Schedule 1 of the DA Rules (specifically Schedule 1, Items 4(c), (e) and (g)). It is requested that further consideration be given to the items below in relation to justifying that a 'substantially different development' is not being proposed.

Flooding

It is noted that within the submitted material, the proposed drainage solution results in an increase in depth of flood waters on the State-controlled road. Council officers recognise that the relevant State government department (SARA) is an affected entity to this change application and a separate application has been lodged, however this change to the proposal does not conform with respect to item (g) of the DA Rules. The increase in flood surface levels is likely to increase the severity of the known flooding impacts in the location and potentially impact on the transport network.

Issue

Council is concerned that the proposal results in an ". . . increase in the severity of the known flooding impacts . . ." which results in a "substantially different development" and means the application cannot be considered as a Minor Change". The concern relates specifically to the State Controlled Road, FE Walker Street.

Original application – flooding assessment

Whilst the original application demonstrated management of off site peak flow rates, other important characteristics of the flow behavior (longitudinal and transverse flow directions, depth, velocity, hazard) at FE Walker Street were neither modelled, nor considered.

This is probably because the stormwater/flooding assessment submitted with the original development application was based on a 1d hydraulic analysis which, but its nature, could not define the two-dimensional flow behavior in and across FE Walker St.

Since the original proposal did not provide modelling of flows on FE Walker Street comparable to that presented with the modified proposal, it is simply not possible to compare the impacts of the original proposal with the impacts of the modified proposal.

Accordingly, it cannot be concluded that the original and modified proposals are substantively different in relation to impacts on FE Walker Street.

The FE Walker Street widening, the Santalucia Boulevard intersection, and the cross road drainage arrangements in the two proposals are almost identical. It is highly likely, therefore, that a 2D analysis of the original proposal would have identified changes to existing flow behaviors on FE Walker Street very similar to those of the modified proposal.

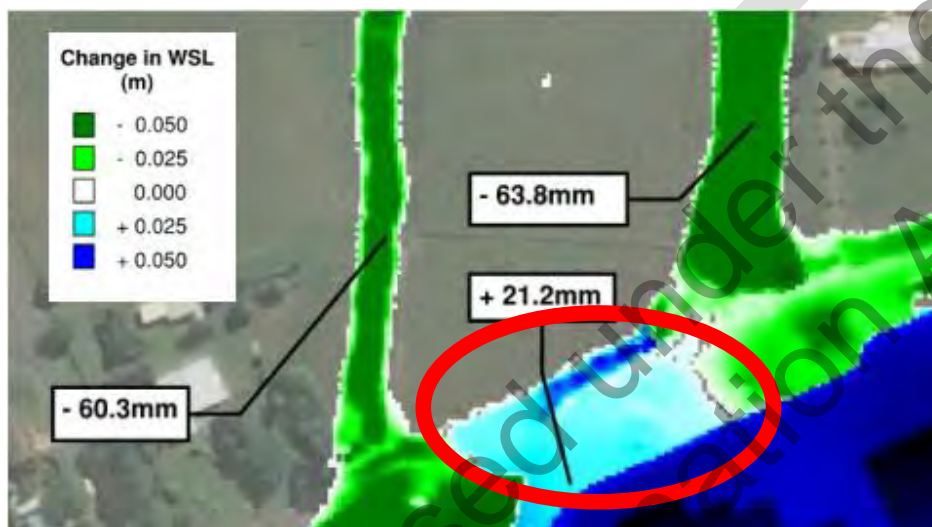
Those changes would have required assessment against applicable QUDM, BRC and DTMR standards.

Change Application – flooding assessment

- **General**

The material lodged as part of the Change Application showed a minor increase in the depth of inundation and lateral road flow in the critical duration 1% AEP + CC storm event, in FE Walker St, just east of the proposed intersection with Santalucia Blvd.

It is noted that this section of pavement is inundated regardless of whether the development proceeds or not. The area of interest is shown below.



The length of increased depth is approximately 100m long for the full width of the road reserve. These depth increases are within the road reserve boundaries of FE Walker St.

The changes in flow distribution are a result of the required grading of the proposed Santalucia Blvd intersection with FE Walker St and the existing embankment on the northern side of FE Walker St.

The depth increases are approximately 50mm in the table drain on the northern side of the road and approximately 20mm elsewhere.

- **Authority Standards for lateral road flow.**

The Bundaberg Regional Council (BRC) and the Department of Transport and Main Roads (DTMR) provide guidance on road flow limitations through relevant Planning Scheme Policies (PSP), the Queensland Urban Drainage Manual (QUDM) and the DTMR Road Drainage Manual (RDM).

The following shows the acceptable limits of road flow in the relevant documents.

BRC PSP Table SC6.3.6.5.1 defines the Minor and Major Storm standards. SC6.3.6.10.7.1 nominates the depth velocity product that must be observed during lateral drainage conditions. Refer below.

Table SC6.3.6.5.1 Design storms for major and minor drainage systems

Major Drainage System ARI (years)		100 plus Climate Change
Minor Drainage System		
Development Category		ARI (years)
CBD and Commercial		10
Industrial		10
Urban Residential – High Density		10
Medium and Low Density		5
Rural Residential/ Village/Townships (open drain) ⁽⁴⁾		2

Minor Drainage System		
Roadway Criteria		ARI (years)
Principal Rural Road (PRR)/ Trunk Collector (Suburban)	Table Drain/Kerb & Channel	10 ⁽¹⁾
	Cross Drainage (Culverts)	50 ^(2,3)
All other Roads	Kerb and Channel	Development Category
	Cross Drainage (if Rural Culverts ⁽⁴⁾)	10 ⁽³⁾

Notes—

1. The ARI for the PRR and Trunk Collector (Suburban) overrides the development category ARI
2. Designer must ensure that the 100 year ARI backwater does not enter properties upstream. In addition the downstream face of the causeway embankment may need protection where overtopping is likely to occur and d*v checks must still be below maximum levels
3. ARI may be increased if the Roadways is deemed to be part of Council's emergency evacuation route
4. Rural cross drainage ARI may be reduced to Q2 ARI where risk level is medium in Q50 ARI flood event as defined in SCARM 73. See also Section SC6.3.6.10.7.2 for further guidance on emergency evacuation routes.

SC6.3.6.10.7 Flow depths (freeboard) and flooded width limitation

SC6.3.6.10.7.1 Urban (including industrial and commercial)

- (1) The flow depth and width limitations given in QUDM are adopted. However, the lower value of 0.4 m²/s must be adopted for all lateral drainage conditions or where loss of life situation occurs for longitudinal drainage conditions.

QUDM Table 7.4.5 sets out the flow limits for transverse flow during a Major Storm.

Table 7.4.5 – Flow limits for 'transverse' flow during MAJOR STORM

Site condition	Flow depth and width limits
Still water at road sag	<ul style="list-style-type: none"> Maximum flow depth, $d_g \leq 300$ mm
Vehicle safety: Transverse flow limits (no risk to life) e.g. road intersection	<ul style="list-style-type: none"> Maximum flow depth, $d_g \leq 300$ mm Depth*velocity product, $d_g \cdot V_{ave} \leq 0.45$ m²/s
Vehicle safety: Transverse flow limits (risk to life) e.g. causeway	<ul style="list-style-type: none"> Maximum flow depth, $d_g \leq 200$ mm Depth*velocity product, $d_g \cdot V_{ave} \leq 0.3$ m²/s

Flow width limits appropriate to the design of State-controlled roads are presented within the *Road Drainage Manual*.

DTMR RDM Table 11.2.2.2 defines acceptable flow limitations during a Major Storm.

Table 11.2.2.2 – Roadway flow limitations – major storm

Situation	Roadway flow width and depth limitation
Where floor levels of adjacent buildings are above road level	Total flow contained within road reserve Peak water levels at least 300 mm below floor level of adjacent buildings (i.e. freeboard of at least 300 mm)
Where floor levels of adjacent buildings are less than 350 mm above top of kerb <ul style="list-style-type: none"> • where fall on footpath towards kerb is greater than 100 mm • where fall on footpath towards kerb is less than 100 mm Where no kerb is provided	Water depth to be limited to 50 mm above top of kerb Water depth to be limited to top of kerb in conjunction with a footpath profile that prevents flow from the roadway entering onto the adjacent property. Above depths shall be measured from the theoretical top of kerb
Pedestrian safety ^a <ul style="list-style-type: none"> a) no obvious danger b) obvious danger 	$d_0 V_{avg} \leq 0.6 \text{ m}^2/\text{s}$ $d_0 V_{avg} \leq 0.4 \text{ m}^2/\text{s}$
Vehicle safety	Maximum energy level of 300 mm above roadway surface for areas subject to transverse flow

Notes:

1. d_0 = flow depth in the channel adjacent to the kerb, i.e. at the invert (m)
2. V_{avg} = average velocity of the flow (m/s)
3. ^a Obvious danger is interpreted as areas where pedestrians are directed to or most likely to cross water paths (such as marked crossings and corners of intersections).
4. Table aligns with requirements within Queensland Urban Drainage Manual QUDM (2008)

Impacts relate to more than just the depth. Velocity, hazard (depth times velocity) and energy may also need to be considered.

An impact assessment should be specific to the site and the use/purpose of the site. The critical issue might be depth, or velocity, or hazard, or energy or some combination.

In this instance it is considered that the most important parameters to consider are hazard and energy as they are critical to pedestrian and vehicle safety.

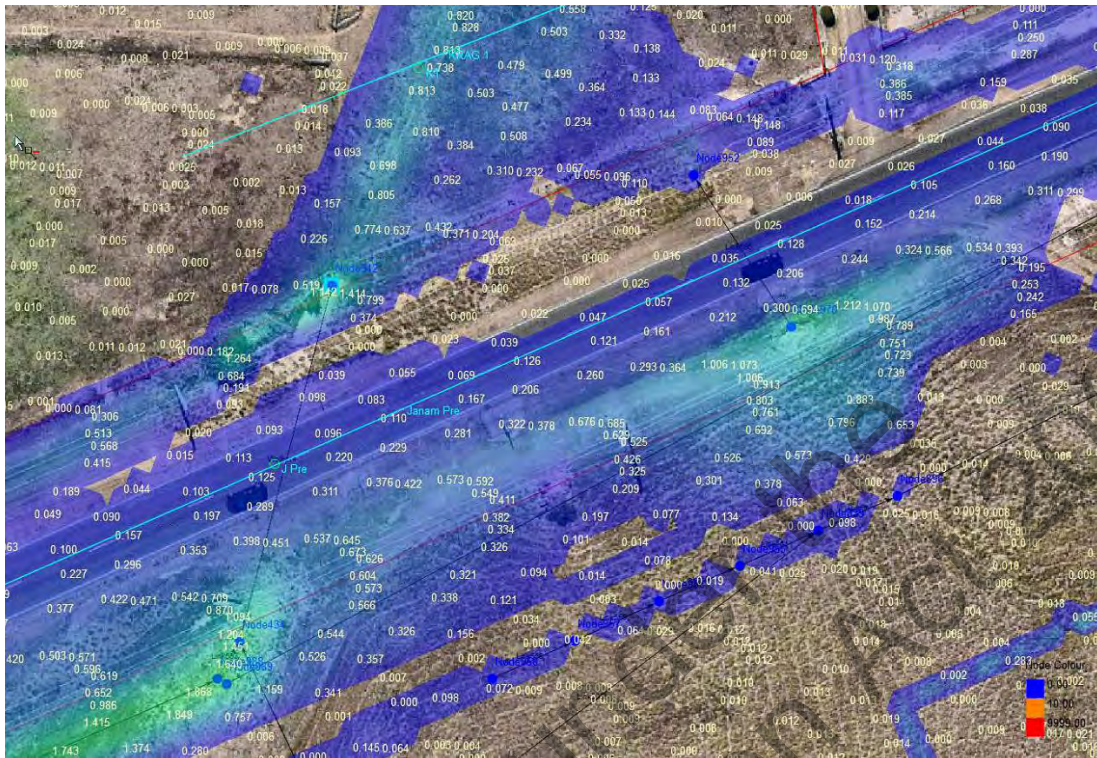
- **Assessment of FE Walker St performance post development.**

Depth max – Ultimate (m)

Below is an extract from the 2d stormwater model and displays the depth of flow at FE Walker St at the area of interest.

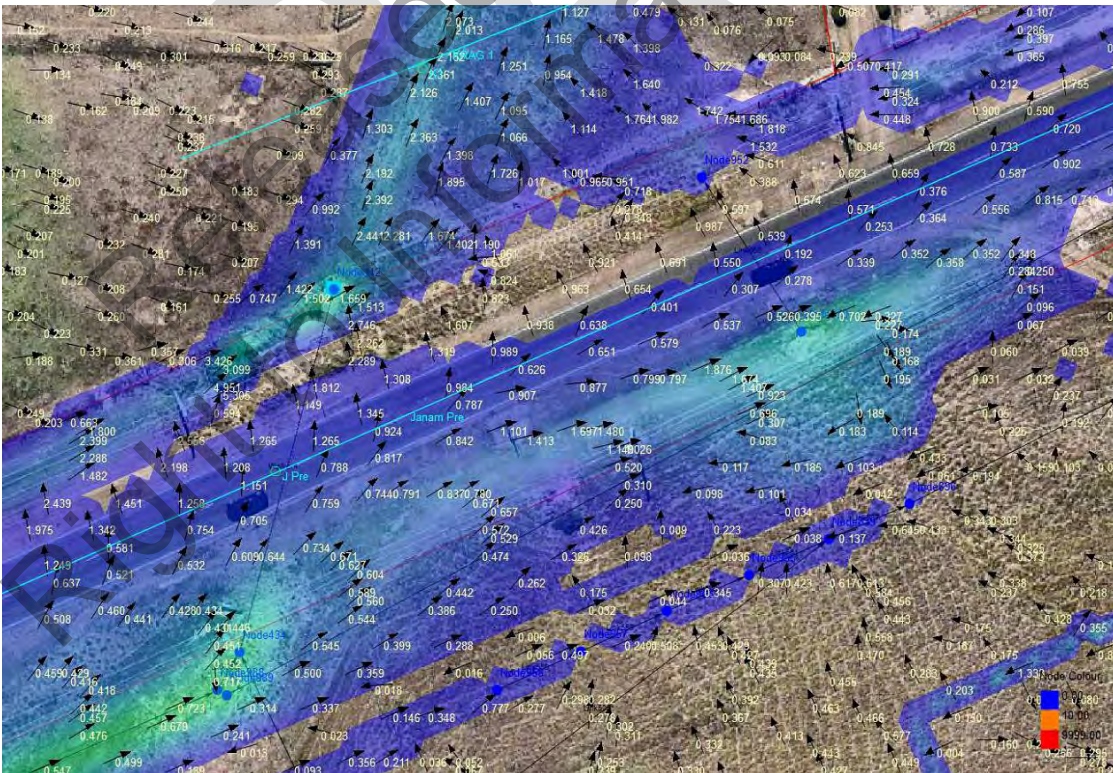
The second image shows the velocity of the flow at the same locations.

The numbered values relate to the locations assessed in the depth velocity assessment table.



1-9-

Velocity max – Ultimate (m/s)



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Depth and Velocity assessment

	Depth (m)	Velocity (m/s)	D.V (m ² /s)	Energy levels (m) = $D+V^2/(2g)$	Depth > 200mm	D.V > 0.3m ² /s
1	0.100	1.249	0.12	0.180	No	No
2	0.090	1.342	0.12	0.182	No	No
3	0.103	1.258	0.13	0.184	No	No
4	0.113	1.208	0.14	0.187	No	No
5	0.096	1.265	0.12	0.178	No	No
6	0.083	1.345	0.11	0.175	No	No
7	0.069	0.984	0.07	0.118	No	No
8	0.039	0.989	0.04	0.089	No	No
9	0.227	0.637	0.14	0.248	Yes	No
10	0.157	0.581	0.09	0.174	No	No
11	0.197	0.754	0.15	0.226	No	No
12	0.125	1.151	0.14	0.193	No	No
13	0.220	0.788	0.17	0.252	Yes	No
14	0.110	0.924	0.10	0.154	No	No
15	0.167	0.787	0.13	0.199	No	No
16	0.126	0.626	0.08	0.146	No	No

At all locations it is demonstrated that the depth is less than 0.3m.

At all locations, except 9 and 13, the depth is less than 0.2m.

At all locations the depth velocity product is less than 0.3m²/s.

At all locations the energy is less than 300mm.

For safety, the BRC PSP SC6.3.6.10.7 limits d.V to less than 0.4m²/s in all lateral drainage situations. As shown in the table above, that requirement is easily met (all values are actually less than 0.2m²/s) at all locations on the pavement of FE Walker St.

We note that there are two locations where the depth exceeds 0.2m in depth. This is not considered to present a risk to life, as the related depth velocity is less than 0.3m²/s (trafficable under DTMR rules), and the depths are on the southern (upstream) side of FE Walker St. The depth reduces to less than 0.2m at the crown and on the northern side of the road.

DTMR requirements

The function of the state-controlled road networks is not substantively affected by the development.

Firstly, post-development, the road is still trafficable by TMR standards at the location of interest (i.e. maximum energy level of less than 300mm).

Secondly, FE Walker St east of the development (under the Ring Road overpass) inundates during storm events with a frequency of about one year. During relatively minor storm events, FE Walker St is impassable and fails to achieve its transport function. The development does not alter that (existing) situation.

Conclusion

The flood impacts on FE Walker Street of the modified development cannot be compared to the flood impacts of the original proposal because the original proposal did not provide comparable modelling.

It cannot be said that there is a difference between the two as the original development impacts are not known. There is simply no base for direct comparison.

However, since the street/intersection/cross-drainage arrangements of the two proposals are substantively similar, and both proposals similarly mitigate off-site flow rates, it is highly likely that the impacts would be substantively identical.

A detailed assessment of post-development flow behaviour on FE Walker St shows that the flow distribution on and across FE Walker St is comfortably within all prescribed performance standards for road flows.

The modified development proposal does not result in a substantially different development nor increases the severity of known development impacts.

Released under the
Right to Information Act 2009

TO:	Erin Clark
FROM:	Adam Johnston (Senior Development Engineer)
DATE:	8/08/2016

APPLICATION NO.	322.2016.45820.1
PROPOSAL	Material Change of Use for General Business
PROPERTY DESCRIPTION	Lot: 900 SP: 261837
ADDRESS	106 FE Walker Street KEPNOCK
PLANNING SCHEME	Bundaberg Regional Council Planning Scheme 2015
ZONING	District Centre Zone

a. ISSUES RELEVANT TO THE APPLICATION

The following significant issues have been identified in the assessment of the application:

- Refer to the internal referral, codes for further explanation.

b. RECOMMENDATION

ATTACHMENT 1 CONDITIONS AND ADVICES IMPOSED BY THE ASSESSMENT MANAGER

PART 1A – CONDITIONS IMPOSED BY THE ASSESSMENT MANAGER

Construction Management

- Unless otherwise approved in writing by the Assessment Manager, do not undertake building work in a way that makes audible noise:
 - On a business day or Saturday, before 6.30 am or after 6.30 pm; or
 - On any other day, at any time.
- Contain all litter, building waste and sediments on the building site by the use of a skip/s and any other reasonable means during construction to prevent release to neighbouring properties or roads.
- Remove any spills of soil or other material from the road or gutter upon completion of each day's work, during construction. These material spills and accumulated sediment deposits must be managed in a way that minimises environmental harm and/or damage to public and private property.
- A detailed construction management plan (CMP) is to be prepared and submitted to the Assessment Manager for endorsement in association with the Operational Works application of each stage of development, detailing the construction methodology and controls to be employed to manage potential off site impacts relating to noise, dust, or other emissions, sediment and erosion controls and other identified impacts to receiving environments external to the development site.
- Comply with the approved CMP during all construction phases of the development.

Earthworks/Spoil/Stockpile

- The subject land must at all times be left in a clean and tidy state with no spoil or stockpiles of any kind from earthworks, roadworks, drainage works, or alike, or

construction waste to be left within the balance area. Further all disturbed areas must be topsoiled and grassed within a maximum period of 12 months.

Vegetation Clearing

26. Restrict vegetation removal to the trees identified on the Approved Plans.
27. Chip, mulch or dispose of cleared vegetation at a Council approved green waste disposal facility or salvage timber for reuse. No burning of cleared material is permitted unless otherwise approved in writing by the Assessment Manager.

Roadworks, Access, Car Parking

38. Dedicate a new road reserve as part of the first stage of development on the subject land sufficient to contain the new collector road, with the development site and balance area to be retained as one lot – unless otherwise approved by a subsequent reconfiguring a lot permit. The new road reserve must be generally as indicated on Thomson Adsett Proposed Site Plan – Retail Level – Stage 3 - Complete – Plan No. DA0.102L, with a minimum reserve width of 20 metres (augmented to accommodate the bus set down area as necessary). Such new road reserve must also align with and be contiguous to the western road reserve of Santalucia Boulevard.
39. Construct new roads within the new road reserve generally as indicated on Thomson Adsett Proposed Site Plan – Retail Level – Stage 3 - Complete – Plan No DA0.102L (the Plan) and to the following requirements:
 - a. All roadways must be sealed with asphaltic concrete;
 - b. Provide concrete kerb and channelling on each side of all roadways to the relevant standard;
 - c. The roadway must be constructed to a collector street standard, but with a pavement width of 11.1 metres;
 - d. Right turn auxiliary lanes as listed on the Plan and the Stage 2 two-way access driveway, unless as listed in condition 45;
 - e. Provision of a temporary bus stop area in Stage 1, with the permanent stop area pursuant to the requirements of Condition 40;
 - f. The pavement is to be designed in accordance with Austroads Pavement Design for Light Traffic: A supplement to Austroads Pavement Design Guide (AP-T36/06). The pavement specifics shall be determined at the Operational Works Stage; and
 - g. connect smoothly to and align with the existing section of Santalucia Boulevard.
40. Construction of the road required by Condition 39 may be staged in accordance with the approved staging plan. Where the entire road is not completed prior to commencement of the use of Stage 1 of the development, construct a partial roadway from the stage 1 boundary to the eastern boundary of the constructed portion of Santalucia Boulevard. The partial roadway section must be:
 - a. Constructed to a minimum width of seven (7) metres;
 - b. Sealed with a prime and two (2) coat seal;
 - c. Line-marked with a centreline;
 - d. Provided with table drains to convey up to Q100 ARI, or such lesser standard as approved by the Assessment Manager; and

- e. Designed in accordance with Austroads Pavement Design for Light Traffic: A supplement to Austroads Pavement Design Guide (AP-T36/06). The pavement specifics shall be determined at the Operational Works Stage.

The partial road must be replaced by the full constructed road required by condition 39 prior to the commencement of the use of stage 3 or 5 years after commencement of use of stage 1, whichever is the earlier.

- 41. The minor access to the proposed service station must be restricted to a left-in, left-out only.
- 42. The access driveway adjacent to tenancy 1 must:
 - a. No right-turn out, unless approved otherwise by the Assessment Manager; and
 - b. must limit delivery times to outside normal operating hours.
- 43. The loading area commercial driveway (lower level driveway adjacent to the FE Walker St intersection) must:
 - a. be constructed in a manner that limits its use to commercial vehicles only; and
 - b. restricts its use to a left-out exit only.
- 44. At the interface of ramps and lower carpark level at Stage 1 and Stage 3 either:
 - a. provide medians, linemarking and signage to stop the left turn (north bound – down ramp) turn manoeuvre; or
 - b. provide a 0.6 metre truncation/clear turning area in the building retaining wall with a combination of mirrors to provide adequate sight distance in accordance with AS/NZS2890.1-2004: 'Parking Facilities Part 1: Off-street Car Parking'.
- 45. Prior to the submission of the stage 3 operational works:
 - a. Submit for approval by the Manager Development Assessment a traffic impact assessment (TIA) for access to the underground parking area, the stage 1 and 3 access point and the intersection adjacent to the service station, with such works to become part of the Development Approval; and
 - b. Incorporate such additional works in the relevant application for operational works as are deemed necessary by the TIA.
- 46. Provide off-street car parking and vehicle manoeuvring area for a total of 884 car parks and associated loading bays generally in accordance with Thomson Adsett Site Plan series DA1110 (K), DA1112 (F), DA2110 (I), DA3.110 (I) and DA3.112 (D) drawings progressively for each Stage of development (Stage 1 – 377 spaces (lower level and at retail level as indicated on); Stage 2 – 7 spaces (Service Station); Stage 3 – 500 spaces (lower level and at grade). Such car parking, access and manoeuvring areas must be:-
 - a. Constructed and sealed with bitumen, asphalt, concrete or approved pavers;
 - b. Line-marked into parking bays;
 - c. Designed to include a manoeuvring area to allow vehicles to leave the site in a forward gear;
 - d. Designed to include the provision of fill and/or boundary retaining walls to allow for the containment and management of site stormwater drainage as required;
 - e. Sign posted to indicate entry / exit points, in addition to line marking, to indicate the traffic flow through the site;
 - f. Drained to the relevant site discharge point;

- g. Be available free-of-charge to staff and customers during operating hours;
 - h. Be restricted for the first forty-two metres of the central retail level parking to only all day staff parking (to manage queuing conflicts); and
 - i. Designed in accordance with AS/NZS2890.1-2004: 'Parking Facilities Part 1: Off-street Car Parking'.
47. As part of the Stage 1 of the development operational works demonstrate how the pedestrian crossing from Scherer Boulevard will adequately address pedestrian safety, with special attention to the left-out vehicle movement.

Pedestrian

48. Pedestrian facilities are to be provided generally in accordance with Thompson Adsett *Site Access and Mobility Plan* DA1104 G, modified to exclude the provision of a footpath in FE Walker Street past the signalised intersection. For works within the road reserve, those works must be undertaken in accordance with an Operational Works approval and must include a 1.5 metre (minimum) concrete ribbon pathway and pram ramps. Such paths must be generally in accordance with Council's drawing 13977 except for the temporary connection between Stages 1 and the eastern pedestrian path in Santalucia Boulevard, which may be cracker dust or equivalent.
49. As part of Stage 3 of the development construct a 2.0 metre wide concrete ribbon footpath and associated pram ramps providing a pedestrian and bicycle link between Scherer Boulevard and the shopping centre development (the "Scherer Boulevard Pedestrian Access") as depicted on approved plan - Thomson Adsett Site Plan series DA0.102L.
50. As part of Stage 3 of the development dedicate an easement for public pedestrian and cycle access sufficient to contain the new pathway as in condition 49.

End of Trip Facilities – Cycle Parking

30. Install and maintain 13 secure bicycle parking spaces for employees and 13 secure bicycle parking spaces for customers as part of Stage 1 of the development and an additional two (2) spaces for Stage 2. At the completion of Stage 3 of the development, a minimum of 35 secure bicycle parking spaces for employees and 35 secure bicycle parking spaces for customers (including the 26 spaces required as part of Stage 1 and 2 spaces for Stage 2) must be installed and maintained on the site. Customer cycle parking must be located in a visible area close to the entrance of each building.
31. Provide one (1) locker for every two (2) staff cycle parking spaces at convenient location/s within the shopping centre facility.
32. Provide informational and directional signage where necessary to direct cyclists to bicycle parking spaces and advise the public of their presence.

External Storage of Materials

33. Ensure goods, equipment, packaging material or machinery is not stored or left exposed outside the building so as to be visible from any public road or thoroughfare. Any storage on site is required to be screened from view from all roads and adjacent properties and must be above levels of inundation from both flood and localised events.

Loading/Unloading

34. Loading and unloading of all vehicles associated with the use must occur on the subject site. Loading and unloading is not to occur in the areas specified for taxis and set-downs.

Water

35. Provide reticulated water supply, hydrants, fittings and fixtures to each stage prior to the commencement of use of that stage. Also undertake network modelling to determine main sizing for all stages in association with the first Operational Works approval. Such modelling must include all necessary upgrades of Council infrastructure to ensure that downstream properties are not adversely affected by the increased demand of the proposed development.
36. Provide a metered service, and internal infrastructure as required, satisfying the fire-fighting and water supply demands of the development.

Sewerage

- SE2 At Stage 1, provide a new sewerage connection suitable to meet the requirements of the development. All live sewer work, including the point of connection, must be undertaken by Council.
- SE4 All sewerage infrastructure must be clear of all proposed and existing buildings. Detailed design of the new sewerage infrastructure and its alignment must be determined at Stage 1 prior to the commencement of the detailed stormwater design and any subsequent works must be part of an application for Operational Works.
- SE6 Except where perpendicular to or intersecting with a property boundary, a sewer main must not be situated closer than 1.5 metres to a property boundary, unless otherwise approved by the Assessment Manager.

Electricity, Street lighting and Telecommunications

51. Enter into an agreement with an approved electricity provider, to ensure that underground electricity will be available to the development site.
52. Street lighting to new roads, multi-modal pathways and intersections must be by way of provision of underground conduits and cables, poles and street lights. The design and provision of street lighting must be in accordance with Australian Standard 1158:2005. The applicable lighting category is V4 for all roadways.
53. Telecommunication conduits (ducts) and pits, including trenching and design, must be provided to service the development in accordance with 'Fibre-Ready' standards or the NBN Co Installing Pit and Conduit Infrastructure - Guidelines for Developers, to the satisfaction of the Assessment Manager.

Groundwater Bore

54. The groundwater bore within the subject land must be either decommissioned by a licensed water bore driller or be re-commissioned to the satisfaction of the

Department of Natural Resources and Mines. If the bore is re-commissioned such works must be integrated within the surrounding landscaping. Works associated with the bore are to be completed in association with Stage 1 of development.

Stormwater

37. Install a stormwater drainage system connecting to a lawful point of discharge. The works must be undertaken in accordance with an Operational Works approval and the Queensland Urban Drainage Manual. The works must also:
- a. Incorporate the works described in section 6 – 8 and the drawings appendix C of the Opus Site Based Stormwater Management Report (revision H) modified to accommodate the 2D XP SWMM modelling outcomes described herein;
 - b. Include the registration of a new or modified Easement II in lot 100 on SP 179035 (the “New Easement”) to incorporate works and overland flow paths in that Easement;
 - c. Have low maintenance batter planting for batters steeper than 1 in 5 within existing or the New Easement;
 - d. Include internal stormwater drainage designed and constructed in accordance with the requirements of the Queensland Urban Drainage Manual and Bundaberg Regional Council, i.e., a piped system with a capacity to cater for 10 ARI flows, with overland flowpaths to be provided for a capacity of Q100ARI less piped flow;
 - e. Demonstrate unimpeded flows from adjacent properties;
 - f. Provide detention storage that will cater for the increased stormwater runoff from the premises so that the discharge from the subject land is limited to pre-development generated peak levels up to and including Q100 ARI flows;
 - g. Demonstrate how the internal works, basins and WSUD treatments will be maintained by the property owner to best practice standards with a high level of visual amenity at all times for the duration of the approval;
 - h. Incorporate the requirements of DTMR;
 - i. Be designed in a manner that does not direct stormwater flows to Lot 1 on SP 172085 being 128 Walker Street; and
 - j. Prior to the submission of operational works for the first stage of the development show how the premises will maintain the pre-development flow regimes both upstream and downstream of the subject land incorporating the requirements listed above and as such the following must be provided with the first operational works application:-
 - i. A detailed bulk earthworks and drainage layout plan for the proposed works within the subject land. This bulk earthwork and drainage layout plan will then form the basis of the Approved Works Plan;
 - ii. A 2D XP SWMM model incorporating rainfall events up to the Q100 ARI event (inclusive of climate change). Such modelling must also demonstrate that the Approved Works:
 - A. Incorporate as much flood storage as possible;
 - B. Incorporates flows from upstream catchments, including but not limited to, the overland flows from the catchment south of Kepnock road;

- C. Makes provision for the future diversion works of the 3/600 RCP pipes and associated works to an outlet approximately 30 metres downstream of the current location and the provision of inlet pits to the existing stormwater manholes, if works have not already been undertaken by Council;
 - D. Demonstrates staging for any works;
 - E. Outlines any works within the State-controlled road reserve;
 - F. Models and caters for blockages to the outlet pipes in accordance with *Queensland Urban Drainage Manual* guidelines;
 - G. Ensure that any inundated pedestrian areas (affected by cross road flows as well) have a $d \cdot V \leq 0.4 \text{ m}^2/\text{s}$;
 - H. the maximum depth at the kerb in the Major event is less than or equal to 250mm; and
 - G. Demonstrates how the premises will maintain predevelopment parameters in the areas of flood and stormwater hazard, including but not limited to maintaining depths, hydraulic grade lines and peak flows of stormwater for properties external to the development site;
- k. At the successful outcome of condition 37a - j, provide to Council a 'Kepnock Centre Drainage Study' report that clearly enunciates, inclusive of all electronic models the method and outcomes of the 2D XP SWMM modelling for pre- and post- development inclusive of each stage of the development.

Water Sensitive Urban Design

ST4 The drainage system for the development must incorporate Stormwater Quality Improvements in accordance with the State Planning Policy July 2014, the Bundaberg Regional Council Stormwater Management Strategies and generally as set out in the Opus Site Based Stormwater Management Report (revision H). A Site Based Stormwater Management Plan and Erosion and Sediment Control Management Plan, inclusive of long term maintenance measures, must be submitted as part of an application for Operational Works outlining how the Stormwater Quality Improvements in both the construction and operational phases of the development will be achieved.

Easements

- EA1 Lodge for registration at the office of the Land Registry the following easement(s):
- a. a stormwater drainage easement having a minimum width of five (5) metres or such greater width as determined in an application for Operational Works, whichever is the greater, to the benefit of Council that includes:
 - i. Q100 ARI stormwater overland flow paths traversing the site;
 - ii. any stormwater main existing or proposed to traverse the land;
 - b. a sewerage easement having a minimum width of three (3) metres to the benefit of Council that includes any sewerage main existing or proposed traversing the land located within the easement and a minimum of one (1) metre from the easement boundary;

- EA2 Draft easement documentation must be submitted to the Assessment Manager for endorsement.
- EA3 All works must be kept clear of any existing or proposed easements on the subject land, unless agreed otherwise in writing by the Grantee. All costs associated with the modification, amendment or revision of existing easements will be at the Developer's expense.
- EA4 Ensure that any easements and rights pertaining to the parcels of land associated with this approval are maintained unless otherwise stated on the Approved Plans or the conditions of this approval. Proof of the registration or surrender of any easements are to be submitted to the Assessment Manager at the time of the submission of a Plan of Subdivision for compliance assessment and signing.

PART 1B – ADVICE NOTES

Infrastructure Charges Notice

- A. Please find attached the Infrastructure Charges Notice (Ref No.: 331.2016.837.1) applicable to the approved development.

c. ENDORSEMENT

Report prepared by: Adam Johnston (Senior Development Engineer)

Signed: 

Released under the
Right to Information Act 2009